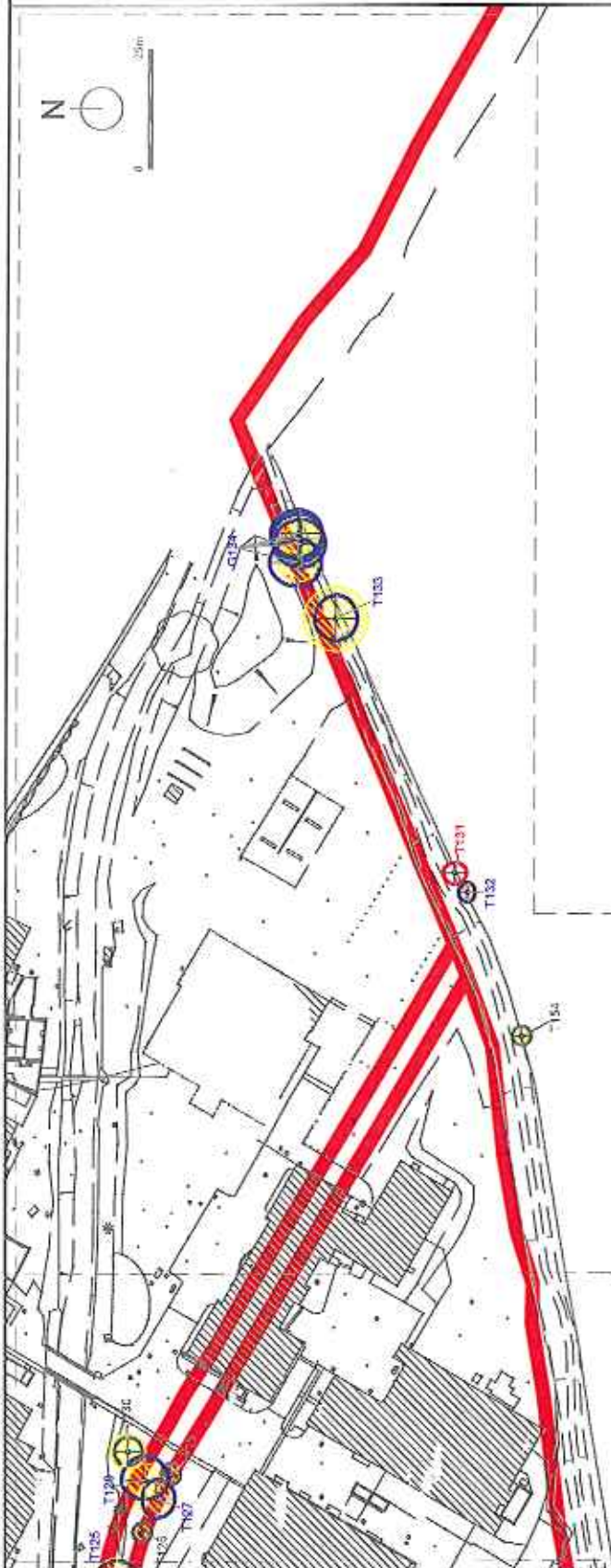




Site Boundary

TREE CATEGORIES:

Category A

Those of high quality and value:
Trees which are likely to make a
substantial contribution in a minimum of 40
years is anticipated.

Category B

Those of moderate quality and value:
Trees which are likely to make a
significant contribution in a minimum of 20
years is anticipated.

Category C

Those of low quality and value:
Trees which are likely to make a
contribution in a minimum of 10 years
and new planting could be expected to
replace them in 10 years is anticipated, or young
trees with a stem diameter below 150mm.

Category D

Trees in such a condition that any existing
value would be lost within 10 years and
which should, if the current condition be
improved for reasons of general amenity and
landscape.

TREE CONSTRAINTS:

20m - 30m Buffer Based on Root

Calculated using the method set
out in Para. 4.8 of BS5837:2012



The Environmental Division, Southampton
The 3am Earths Estate, Barchin,
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Scentarea Ltd

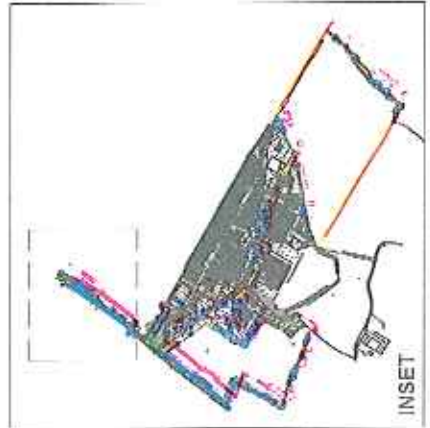
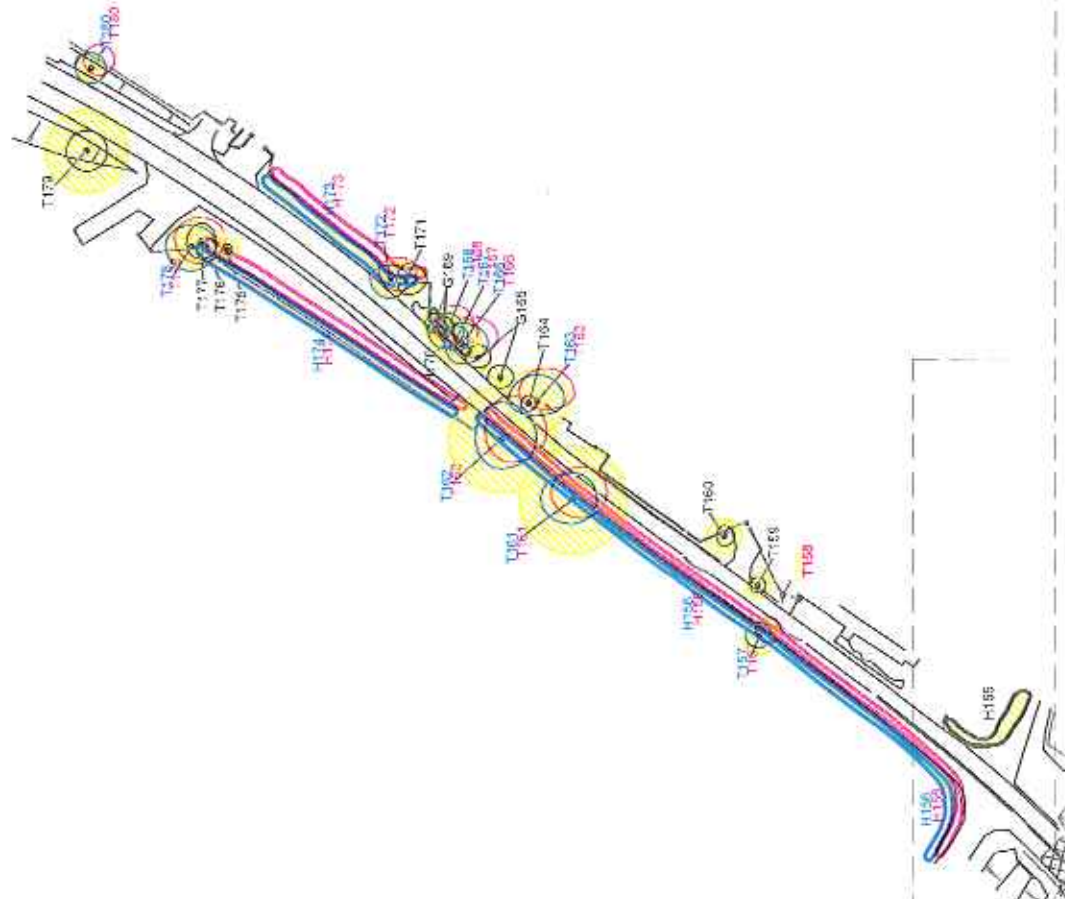
Land adjacent to Blythe
Business Park

Plan EDP 2: Tree Constraints
Plan (Sheet 4 of 6)

3030
Drawing number
scale
drawn by
checked by
31 FEBRUARY 2014
exp: 07/10/14
1:1000/0.65
EB
DVA



0 20m



Boundary

Tree Categories:

Category A

These are high quality and value trees in such a condition as to be able to make a substantial contribution to the amenity of the area in the next 10 years (as suggested).

Category B

These are moderate quality and value trees in such a condition as to make a significant contribution to the amenity of the area in the next 20 years (as suggested).

Category C

These are low quality and value trees in such a condition as to remain currently in adequate condition to remain in the landscape for a minimum of 10 years and new planting could be established in a minimum of 10 years (as suggested), or young trees with a stem diameter below 150mm.

Category D

Trees in such a condition that any existing value would be lost within 10 years and which should, in the current context, be removed for reasons of safety, operational management.

Tree Constraints:

BSA - Blue Pinpoint - Knap

Consulted using the methods set out in Para. 4.5 of BS5837:2012



The Environmental Design Partnership
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Client:
Scentarea Ltd

Project Site:
**Land adjacent to Blythe
Business Park**

Drawn by:
**Plan EDP 2: Tree Constraints
Plan (Sheet 6 of 6)**

date	21 FEBRUARY 2014
drawn by	edp1577273
scale	1:1000 (2A3)
checked by	DS
checked by	DWA



Site Boundary

TREE CATEGORIES

Category A

Category A (to be moved)

Category B

Category B (to be moved)

Category C

Category C (to be moved)

TREE CONSTRAINTS:

RPA - Root Protection Area
Calculated using the method set
out in Para. 4.5 of BS5837:2012

Line of Protective Barrier

Construction Exclusion Zone
CEZ - Area based on the RPA,
from which access is prohibited
for the duration of the project.

No Dig Construction Method



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Client

Scentarea Ltd

Project No

Land adjacent to Blythe
Business Park, Christchurch

Drawing No

Plan EDP 3: Tree Protection
Plan (Sheet 1 of 6)

Date

05 AUGUST 2014

Drawn by

edp/07722

Scale

1:1000 @ A3

Drawn by

WG

Checked

LT



INSET

N





- Site Boundary**
- TREE CATEGORIES:**
- Category A
 - Category A (removed)
 - Category B
 - Category B (removed)
 - Category C
 - Category C (removed)

TREE CONSTRAINTS:

- PPV - (Protected Protection Area)
Calculated using the method set
out in Para. 4.5 of BS5837:2012
- Line of Protective Barrier
- Construction Exclusion Zone
(CEZ) - Area based on the PPV
from which access is not made
for the duration of the project
- No Dig Construction Method



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Client
Scentarea Ltd

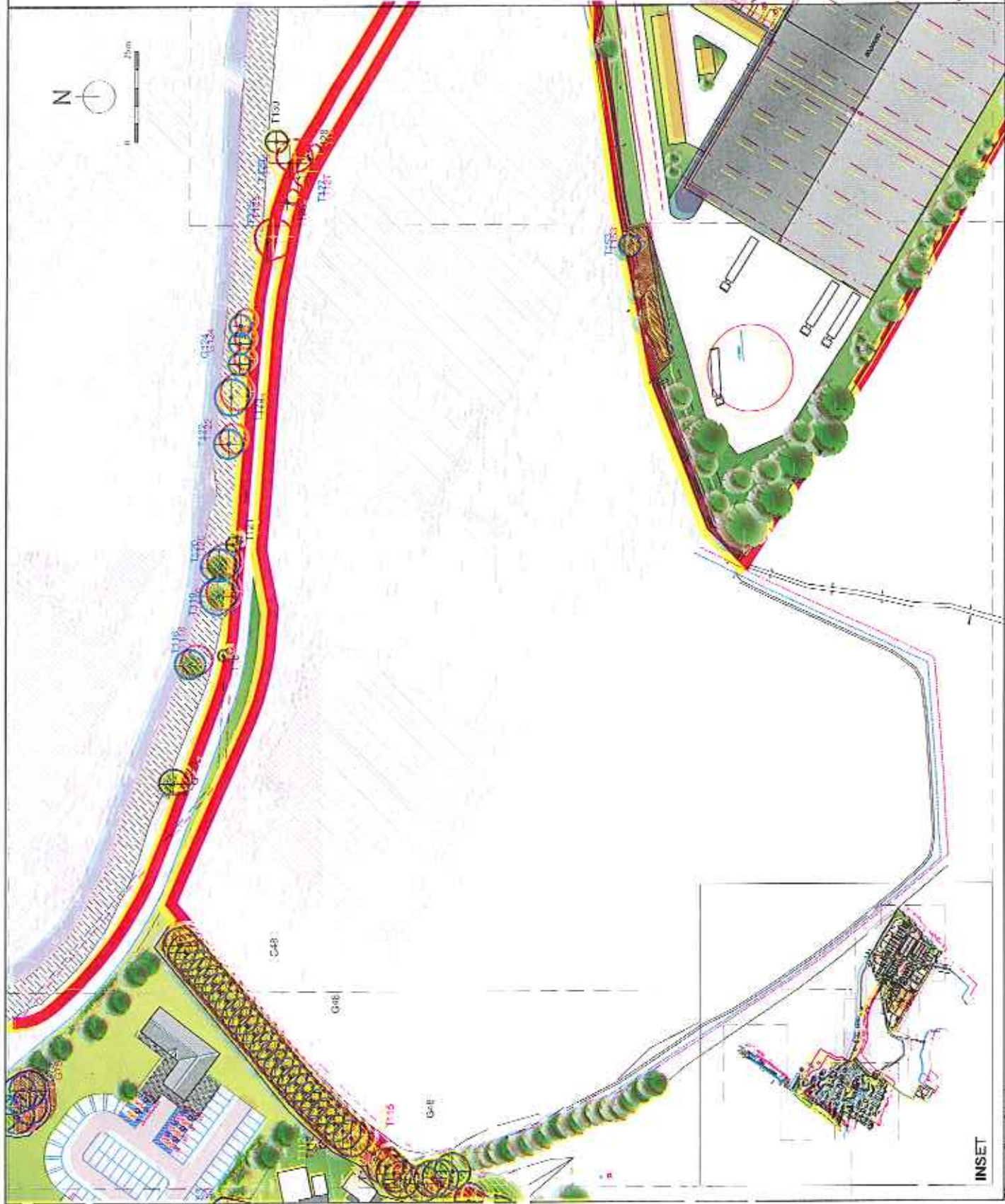
Project Title
**Land adjacent to Blythe
Business Park, Cresswell**

Drawing title
**Plan EDP 3: Tree Protection
Plan (Sheet 2 of 6)**

Date 05 AUGUST 2014
Drawing number edp1877033
Scale 1:1000
Drawn by WKS
Checked by LT



INSET



INSET

Site Boundary

TREE CATEGORIES

Category A

Category A (removed)

Category B

Category B (removed)

Category C

Category C (removed)

TREE CONSTRAINTS:

RPA - (Real Protection Area)
Calculation: 10m buffer from root out let
see Part 4.6 of BS5837:2012

Line of Protective Barrier

Construction Exclusion Zone
(CEZ) - Area based on the RPA
where wheel access is prohibited
for the duration of the project.

No Dig Construction Methods



The Environment Director Partnership
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Client
Scentarea Ltd

Project No

**Land adjacent to Blythe
Business Park, Cresswell**

Drawn by

**Plan EDP 3: Tree Protection
Plan (Sheet 3 of 6)**

Date: 05 AUGUST 2014
Drawn by: adp/17/134
Scale: 1:1000 @ A3
Drawn by: WJS
Checked: LT



- Site Boundary**
- TREE CATEGORIES:**
- Category A
 - Category A (removed)
 - Category B
 - Category B (removed)
 - Category C
 - Category C (removed)

- TREE CONSTRAINTS:**
- APL - Road Protection Area. Calculated using the method set out in Para. 4.6 of BS5837:2012.
 - Line of Protective Barrier
 - Construction Exclusion Zone
 - CEZ - Area bounded by the APL from which access is prohibited to the duration of the project.
 - No Dig Construction Methods



The Firm is a member of the Institute of Planning and Design (IPD) and is a member of the Chartered Institution of Building Services Engineers (CIBSE).

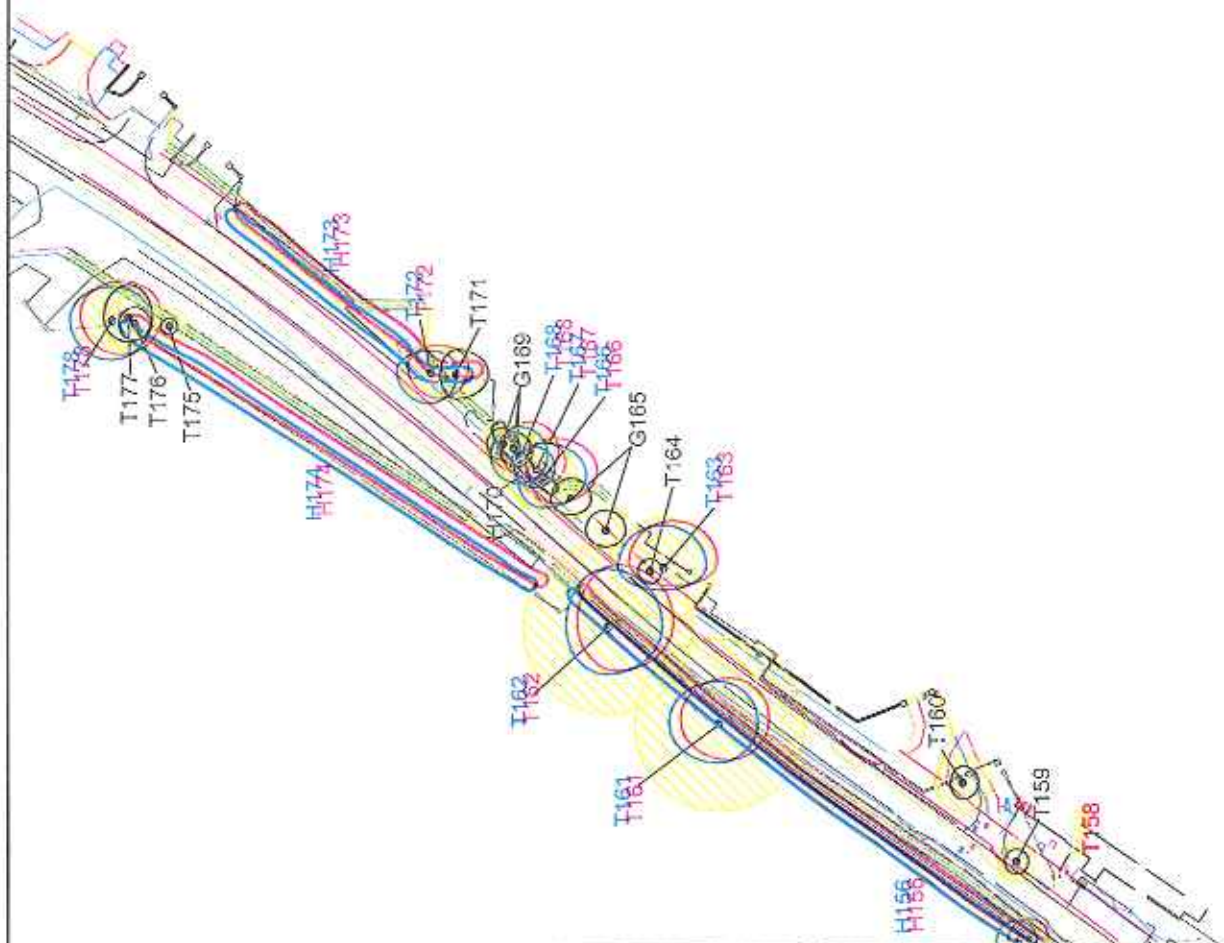
01203 700527
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Client: **Scintarea Ltd**

Project ID: **Land adjacent to Blythe Business Park, Cresswell**

Survey ID: **Plan EDP 3: Tree Protection Plan (Sheet 5 of 6)**

Date: 05 AUGUST 2014
Drawing Number: EDP177736
Scale: 1:1000 @ A3
Drawn by: VAS
Checked by: LT



INSET



Site Boundary

TREE CATEGORIES:



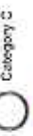
Category A



Category A (removed)



Category B



Category B (removed)



Category C



Category C (removed)



TREE CONSTRAINTS:

PPV - (Real Protection Area)

Calc based on the methods set out in Para 3.6 of BS5837:2012



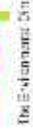
Line of Protective Barrier



Construction Exclusion Zone

CEZ - Area based on the SPA

from which access is prohibited for the duration of the project.



No Dig Construction Methods



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The Elm Farm Estate, Elm Farm,
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edp

Scentarea Ltd

Project title:

Land adjacent to Blythe
Business Park, Cresswell

Drawing title:

Plan EDP 3: Tree Protection
Plan (Sheet 5 of 5)

date: 05 AUGUST 2014

drawing number: edp1577937

user: 1:1000@A3

created by: WJS

checked by: LT



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DIMENSION
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