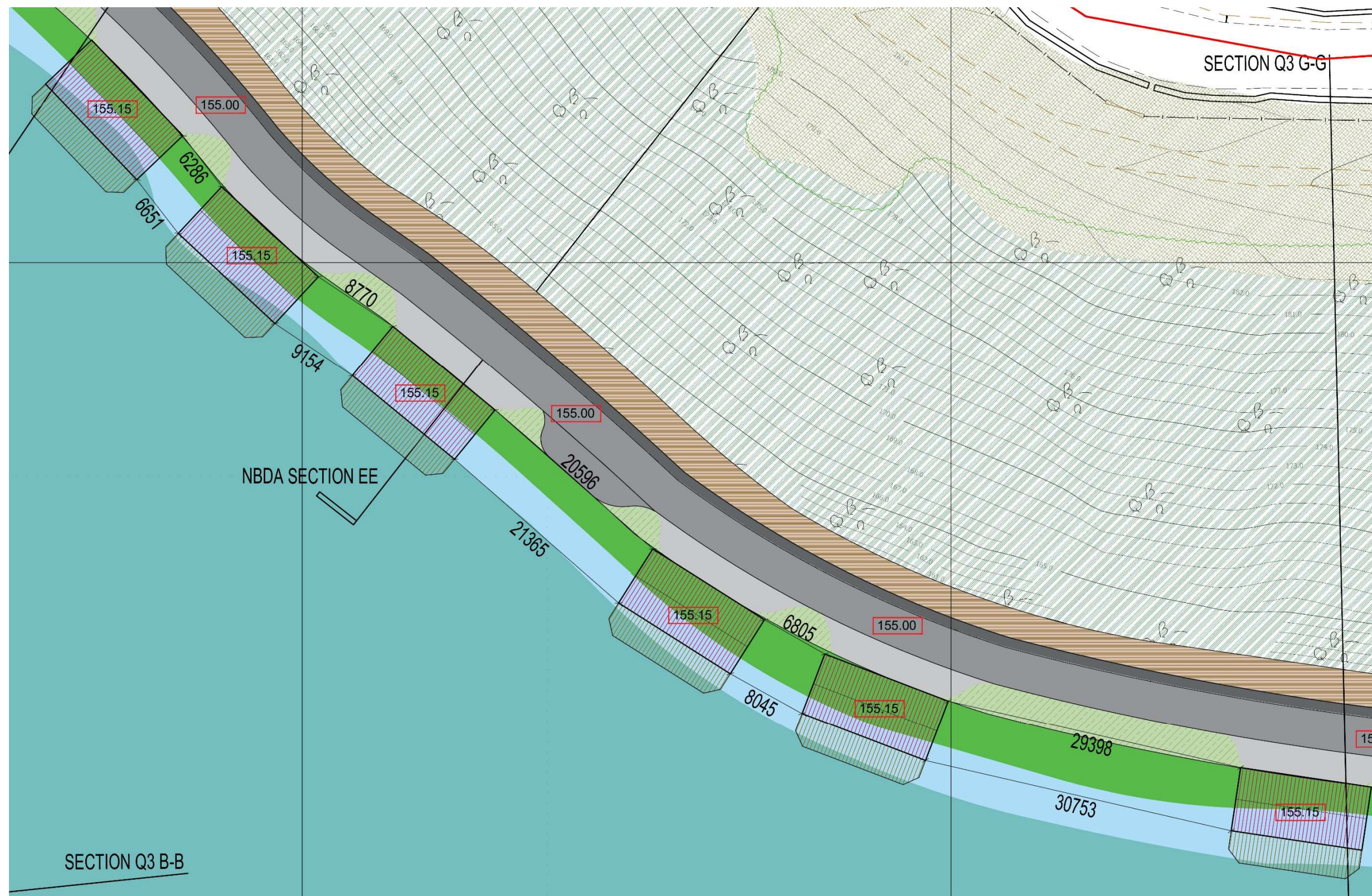


Below is an extract of part of the northern shore of the lake within Q3 from the proposed overall Masterplan. This has been dimensioned to indicate the separation between the lodges and the significant 20-30m wide pockets of landscaping which have been introduced between the groups of lodges. These areas of landscaping will provide expansive views across the lake and soften the lake shore to make it more naturalistic.



10.0 SUSTAINABILITY

Moneystone Park has many inherent sustainable qualities. It is a previously worked site, with a sustainable solar farm within the wider land ownership, and will create much needed jobs for the local area.

10.1 SUSTAINABILITY PRINCIPLES

Development at Moneystone Quarry will be based on the following principles:

- Ensure consistency with the government's policies on sustainability, as detailed in the National Planning Policy Framework.
- Ensure that the development responds to the needs of the local area by providing an appropriate mix of uses, including jobs and attracting new tourists into the Churnet Valley.
- Minimise the impacts of environmental conditions on the health and wellbeing of occupants;
- Reduce carbon emissions where possible and ensure wise use of natural resources where necessary;
- Provide safe and attractive walking, cycling and bridleway routes within the quarry areas and the wider area of land ownership;
- Provide a high quality, inclusive public realm that meets the needs of all users;
- Improve ecological biodiversity.

10.2 RESOURCES

Within the proposals, consideration will be given to the use of recycled building materials, in addition to the full reuse of all site won materials for the main civil ground works, such as crushed concrete, rubble, timber and topsoil. Locally sourced building materials will be promoted within the design of the external spaces, which will reduce transportation, promote local business and help ensure that the facility fits within the local context.

A Site Waste Management Plan will be implemented to monitor, report and target reductions in the quantities of waste generated on site and also identify opportunities for recycling of building materials.

10.3 COMMUNITY

The proposed development will seek to create an attraction facility for tourists and the local community alike. Moneystone Park will offer local sports and recreational facilities for the local community, as well as the opportunity for limited retail in the form of a farm shop.

Around 250 new full time equivalent jobs will be created once the full development is complete, plus new jobs during construction and indirectly within the local area. This will help to replace those jobs lost when the quarry closed. The development will also help to diversify the range of jobs on offer in the local community.

10.4 LANDSCAPE & ECOLOGY

The new development at Moneystone Quarry will ensure that the ecological value of the site is conserved and enhanced by maintaining biodiversity and protecting existing natural habitats. The green infrastructure network incorporates existing landscape features of value into the development where feasible and viable and aims to provide, no net loss of habitat.

The proposals will improve the overall appearance of the site from its previous industrial setting to woodland, parkland, and water features. Development will be sensitively located within this green infrastructure network. The proposed green Infrastructure will provide an opportunity for people and for wildlife to benefit from green open spaces, and importantly to provide a network of connected green corridors and spaces for wildlife. Sustainable Urban Drainage solutions (SUDs) will be used where possible to collect and store surface water. The Landscape strategy is predominately native planting of local provenance to preserve and enhance the biodiversity and nature conservation.

The development has been planned to ensure that residents can reach facilities they need by appropriate transport modes, by encouraging walking and public transport use and reducing the use of private cars for shorter journeys.

11.0 LANDSCAPE

In response to pre-application feedback received by SMDC, the following design changes / additional information have been provided:

Quarry 1:

- Additional proposed tree planting included on the eastern edge of the site to increase the existing landscape buffer.
- Rearrangement and addition of trees around the hub building.
- Re-configuration of mounding and additional trees and scrub planting included to the west of the hub building to increase screening.
- Additional details and further detail of typical landscape treatment between lodges in quarry 1 included in this document.
- Zone for archery centre shown for future safeguarding.

Quarry 3:

- Existing vegetation on the northern boundary to be retained and enhanced. Additional scrub planting and sporadic tree planting to help filter views into the site. This is based on the intentions set out in the LVIA photomontage views, See Section 11.8
- Zone for watersports building shown for future safeguarding.
- Some of the lodges to the southern shore of the lake have been repositioned to increase potential for landscaping, with new scrub planting introduced.
- Additional details and further detail of typical landscape treatment between lodges in quarry 3, waters' edge included in this document

Eastern Boundary:

- The landscape buffer zone along the eastern boundary with the fields to the south of Crowtrees Farm has been reinforced with indigenous shrub and tree planting, to reduce visibility into Moneystone Park from the west.



LANDSCAPE MASTERPLAN, OCTOBER 2019

11.1 MONEYSTONE PARK LANDSCAPE PROPOSALS

The landscape masterplan has been developed in accordance with the approved Parameters Plan. Proposals look to retain and enhance the existing landscape character and features of the site where possible. Any new areas of landscape have been sympathetically designed incorporating native species.

Further work has been carried out to analyse the condition of the existing landscape; Looking to where areas can be retained and how these can be enhanced to provide a high quality landscape structure that creates a setting for the new development as well as enhancing wildlife habitats, and sensitively opening up the site for the public.

We have worked in coordination with Bowland Ecology, Urban Green Arboriculturists and SMDC to ensure the landscape approach for the site and species selection for new planting is appropriate and is in accordance with the overarching proposals.

11.2 APPROACH TO DEVELOPMENT IN HABITAT SENSITIVE AREAS

The proposals aim to protect and enhance the local wildlife and ecology on the site. Across the masterplan, the lodges have been laid out to preserve as much of the developing habitats and areas of scrub/woodland planting as possible, whilst allowing clear and safe access. In addition to preserving the existing site resource, retention of habitats found on site is key to providing the natural setting required to make the lodges attractive.

Quarry 1

New development will be positioned so there is minimum disturbance to the existing rock faces and emerging woodland at their bases. The existing lagoon and surrounding reed beds and scrub vegetation will be retained in place with sensitive placement of new pathways and decking to provide access to the water's edge. The existing dense conifer woodland to either side of Whiston Eaves lane will be retained and reinforced where appropriate to maintain an evergreen buffer to the site. New native tree planting will help to enhance the buffer along the north western edge of the site.

Quarry 3

The lodges to the southern banks of the quarry have been laid out to preserve as much of the developing scrub woodland as possible, whilst allowing clear and safe access. Significant areas of planting between lodges will be retained where possible, these will be enhanced by selective clearance of invasive species and new native planting to provide structure and habitat links. Lodges to the northern banks of quarry 3 will meet the waters edge with the decks being set into the marginal and reed vegetation. Management Plan for the woodland would allow for the block to continue to develop and mature - improving its overall habitat value, and contribution to the wider landscape structure in the mid to long term.

11.3 APPROACH TO NEW INFRASTRUCTURE

The proposed foot and cycle pathways across the site, will employ a number of different surface finishes and construction build ups, most of these will be natural finished to reflect the character of the site. However, given the anticipated visitor use, some of the new pathways around the hub will require more hard wearing and long lasting finish.

To minimise the ecological and habitat impacts, it is proposed that where at all possible, pathways will employ permeable surfacing such as bound gravel and compacted stone, which allows for natural drainage and minimises the need for sub surface pipe runs and pits, whilst fitting into the rural context.

Where pathways are located in sensitive woodland/ planting areas, 'no dig' construction methods will be employed to reduce damage to root zones, and pathways will be routed to avoid particular high value areas. Within woodland areas, pathway widths will be varied to suit the site conditions and space available and potentially using wood chip surfacing as a natural 'light touch' finish.

The approximate location for the paths was marked on site in 2018 in coordination with SMDC.

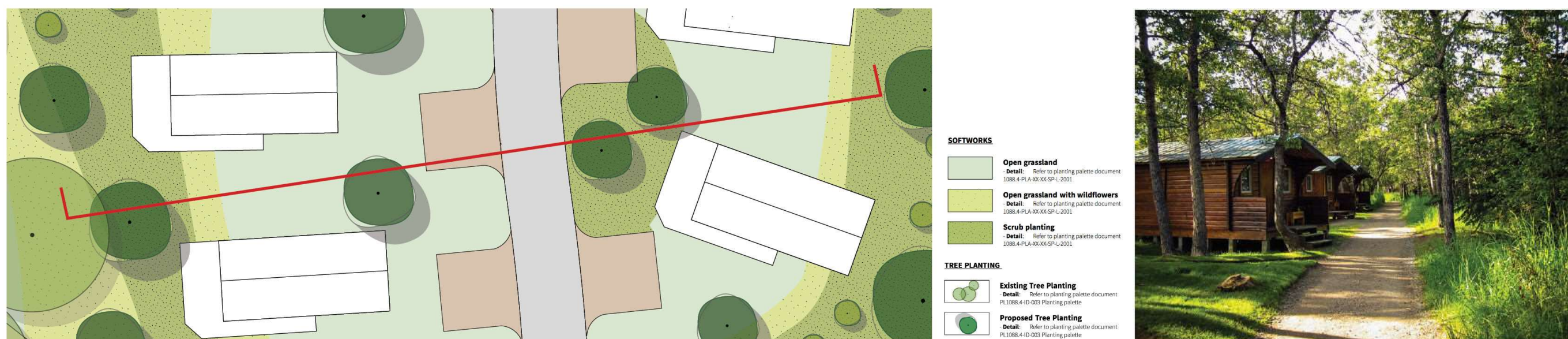
The exact location of the proposed paths within the woodlands and more sensitive areas will be confirmed on site with consultation with arboriculturist, ecologist and landscape architect.

11.4 MANAGEMENT AND MAINTENANCE

The Structural Landscape Plan has been developed with Bowland Ecology, it provides direction and guidance on how the different landscapes within the site can be managed in order to obtain optimum character, condition and sustainability. It seeks to ensure that the valued characteristics of the landscapes are maintained into the future, providing benefits for all.

11.5 QUARRY 1 TYPICAL LODGE LANDSCAPE SETTING

The Woodland lodges will be in a naturally secluded setting surrounded by a variety of naturalistic planting. New trees and shrub planting will establish denser areas of vegetation while grassland and wildflower mixes will offer more open areas. The planting of some smaller bare-root stock will allow for them to establish over time and adjust and grow into their environment.



Typical plan to show landscape setting to lodges in Q1. Not to scale

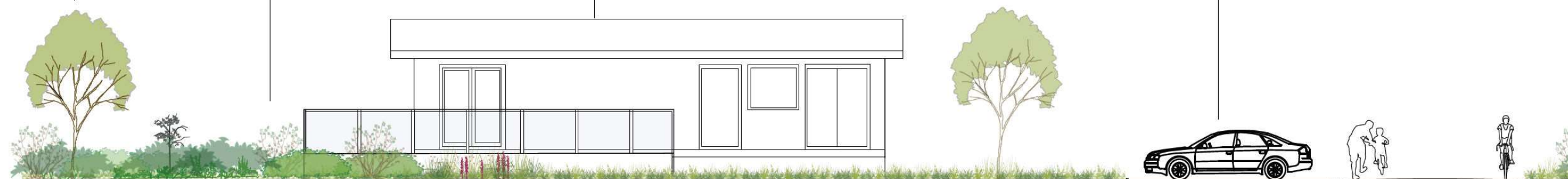
Proposed rootballed and
bareroot tree planting with
scrub planting

Open grass with wild flower
meadow

Proposed Lodge - refer to Architects
drawings for details

Proposed Tree planting
within open grassland

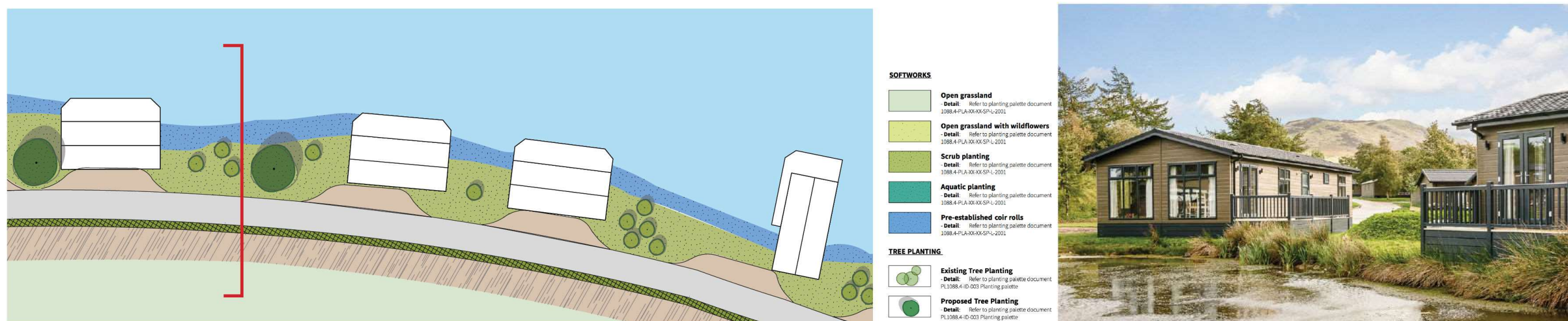
Unbound gravel to lodge
parking



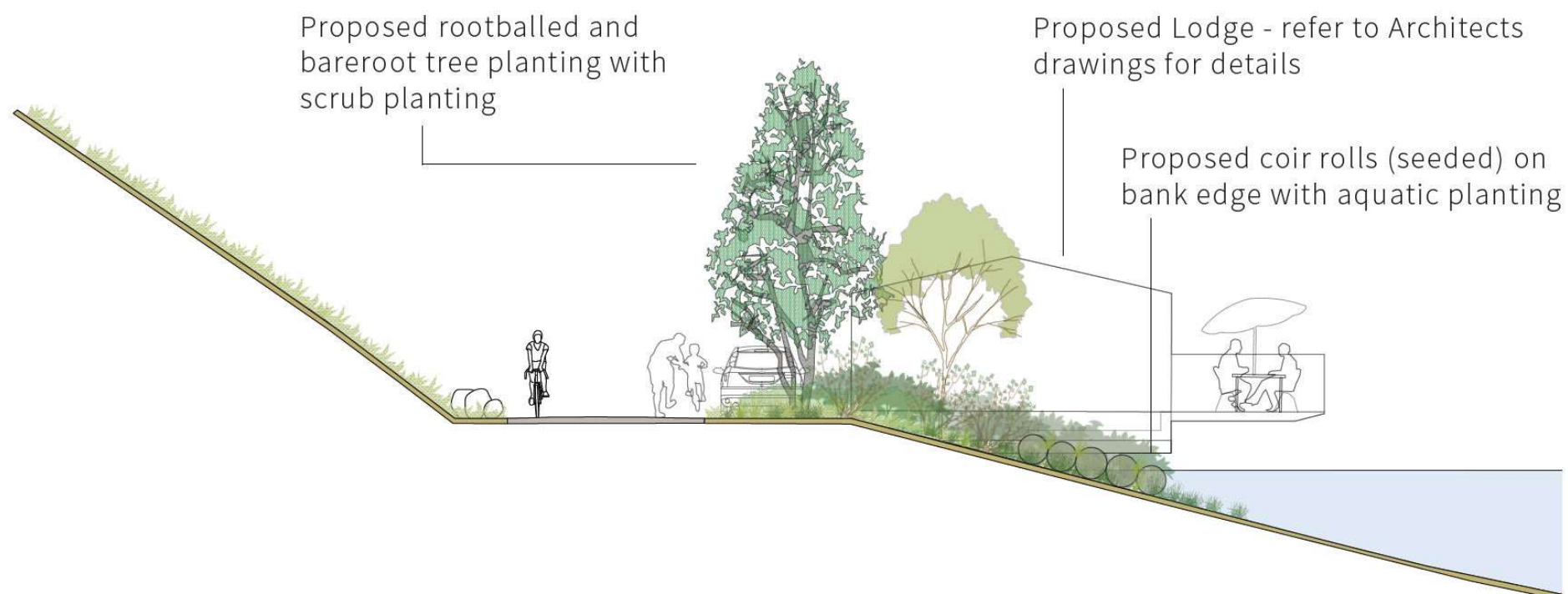
Typical section to show landscape setting to lodges in Q1. Not to scale

11.6 QUARRY 3 TYPICAL LODGE LANDSCAPE SETTING

The lakeside lodges will be in a more open, water's edge setting separated by tree and scrub planting. This denser planting will give some privacy between the lodges whilst continuing the woodland setting site feel. The seeded coir rolls on the banks of the lake with help to establish aquatic planting on the water's edge.



Typical plan to show landscape setting to lodges in Q3. Not to scale



Typical section to show landscape setting around lodges in Q3. Not to scale

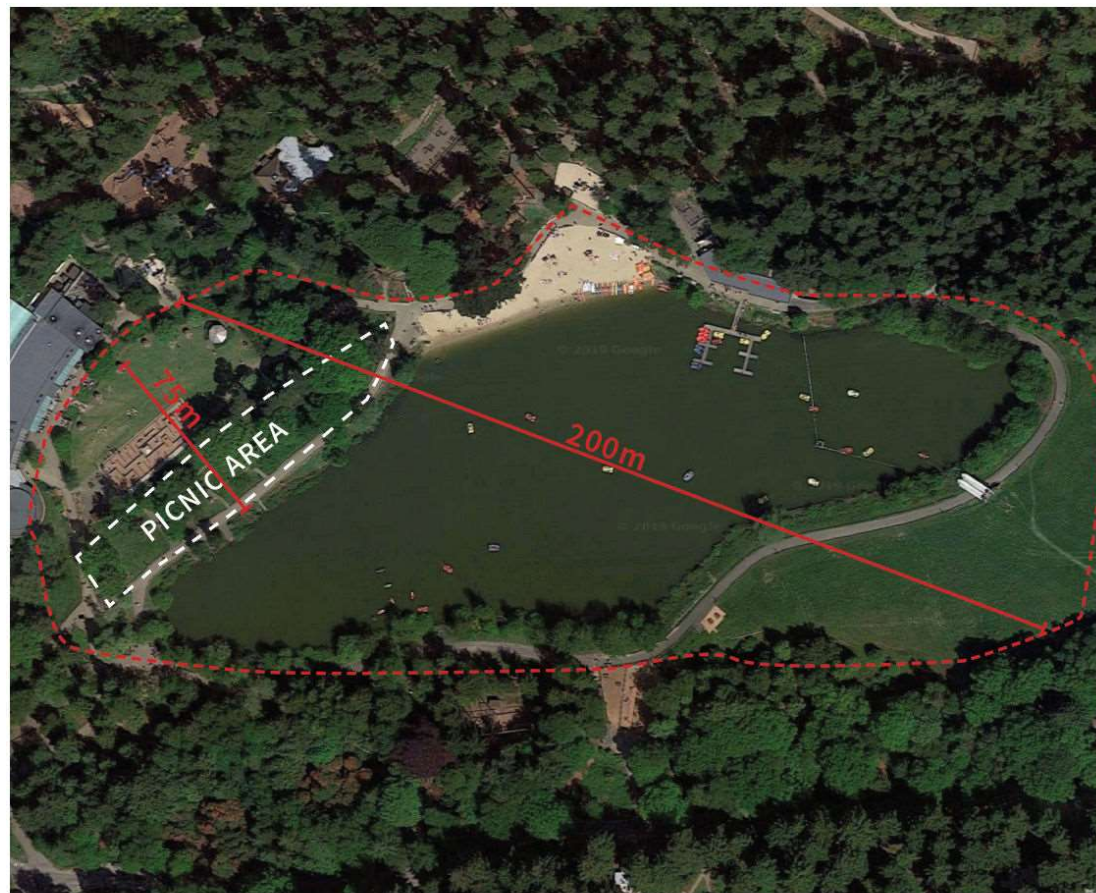
11.7 QUARRY PARK

The Quarry Park extending to 1.1 hectares, will have great amenity value and be a key part of the development. It will have good connections to the rest of the site with multiple pathways in and around the park. The picnic area and natural play areas allow people of all ages to enjoy the waterside location and spend time in the park. The close proximity of the park to the hub will make it an instant attraction and key part of the site identity. The aquatic, scrub and woodland planting will also have beneficial ecological impacts for local wildlife.



Plan of Proposed Quarry Park Area

Scale Comparison



0m 50m 100m



The Centre Parcs at Longleat contains a lakeside park of similar size to Quarry Park. It contains a picnic area, informal open grassland and groups of woodland.

11.8 QUARRY 3 NORTHERN BOUNDARY PLANTING

The landscape Masterplan proposes to retain the existing embankments of tall grass and herbaceous planting along the northern and western boundaries of Quarry 3. This is in accordance with the LVIA assessment undertaken in 2016 which included a photomontage no. 6 looking from Eaves Lane looking south over this area – (as shown above). The photomontage indicates how the existing vegetation if managed correctly, combined with new native tree standards planted in informal groups would provide an adequate level of screening to the new development and give an attractive contact to views along Eaves Lane, whilst also maintaining the character and openness of the view.

Through maturity it is anticipated that the tree planting will form a more solid enclosure to the route, defining the lane and offering glimpse views out over the surrounding hills.

The proposals are consistent with existing site condition – and with the findings of the Landscape and Visual Impact Assessment.



Plan of Q3 Northern Boundary



Existing



Proposed

View from Cottage Farm, Eaves Lane (View 6 extracted from LVIA)

12.0 ACCESS

As noted the Hub will have entrances at both Lower and Upper Ground floor levels and level thresholds will be included at both. Disabled wheelchair accessible and ambulant toilets are provided at both levels. Door widths will be suitable to provide wheelchair access throughout.

6no. Disabled accessible car parking spaces are provided immediately adjacent to the lower entrance into the hub building and further spaces will also be allocated within the main car park.

Assisted powered doors will be included at both upper and lower entrances into the hub.

Suitable colour contrasting will be included between doors/frames/ironmongery etc within the buildings.

A number of wheelchair accessible lodges will be included, which will include wider doors and ramped access.