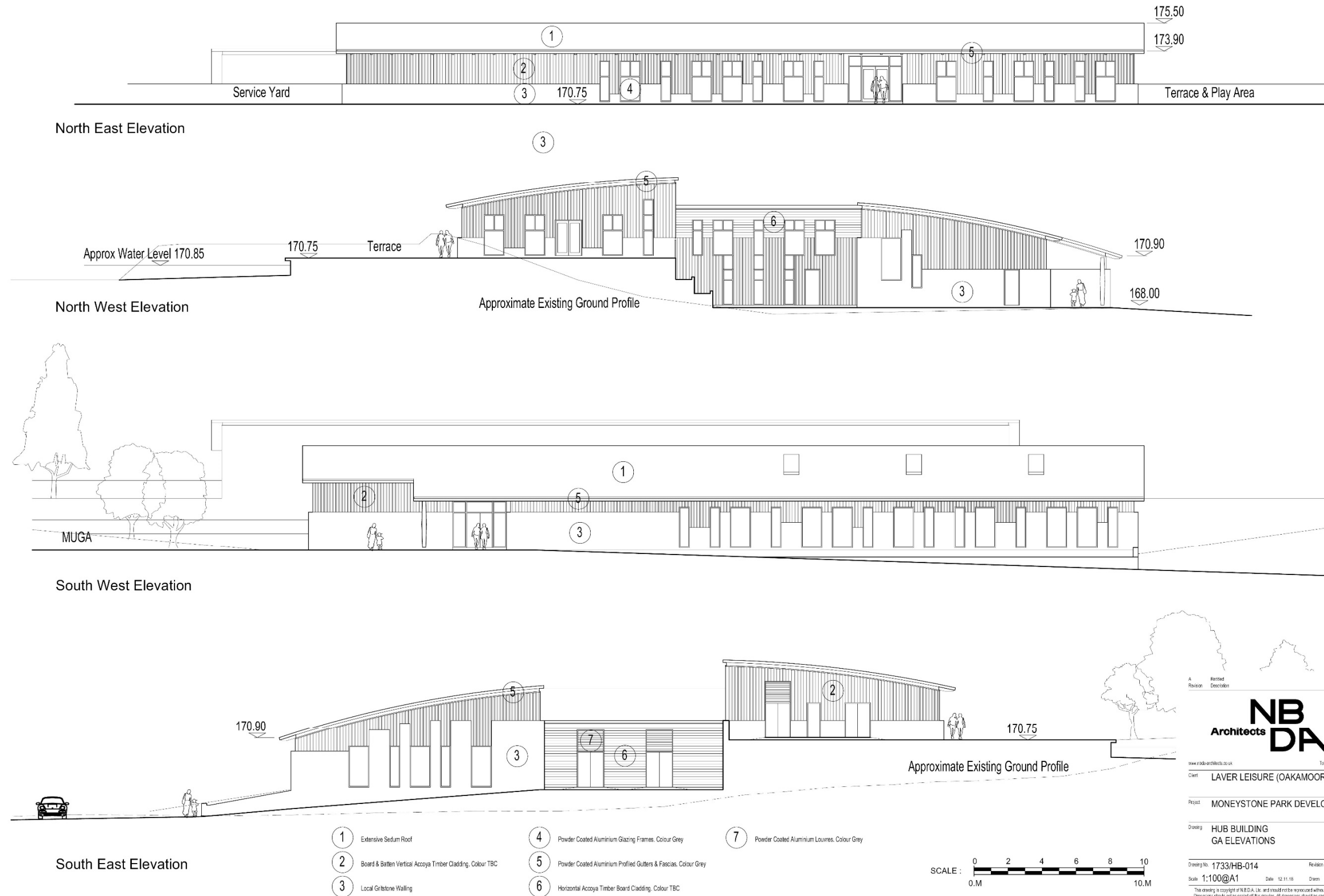


## 6.2 HUB ELEVATIONS

The proposed elevations for the Hub Building are presented below:



Revision	Description	Date
A		14.10.18

**NB DA**  
Architects

www.nbdarchitects.co.uk Tel: 01425 575503

Client: LAVER LEISURE (OAKAMOOD) LTD

Project: MONEYSTONE PARK DEVELOPMENT

Drawing: HUB BUILDING  
GA ELEVATIONS

Drawing No: 1733/HB-014 Revision: A  
 Scale: 1:100@A1 Date: 12.11.18 Drawn: AB

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A1 Drawing

### 6.3 HUB VISUALS

A Series of sketch visuals have been prepared for the hub building and these are presented on the following pages:



View From Upper Terrace Looking West over Lower Terrace and Play Area



View From Main Park Entrance Road Looking North East towards Hub Building



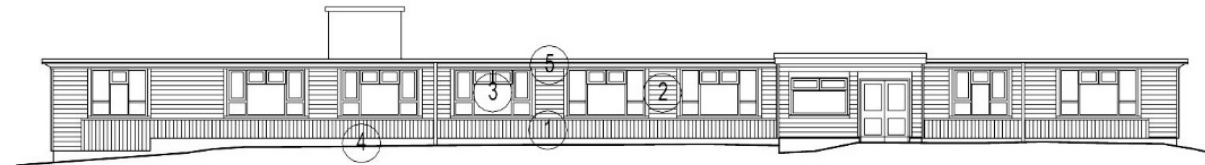
View Looking South Along Main Pedestrian Axis



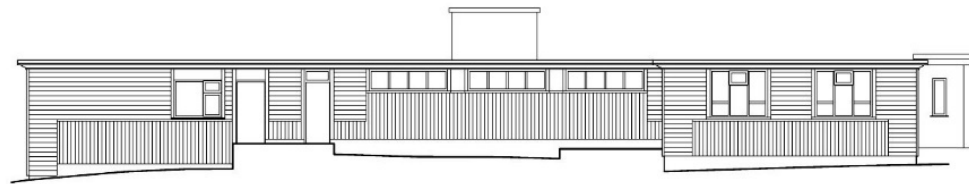
View Looking North from Upper Level approach Path towards Hub Building, Lake and Upper Terrace

### 7.0 HOUSEKEEPING BUILDING FORM AND FINISHES

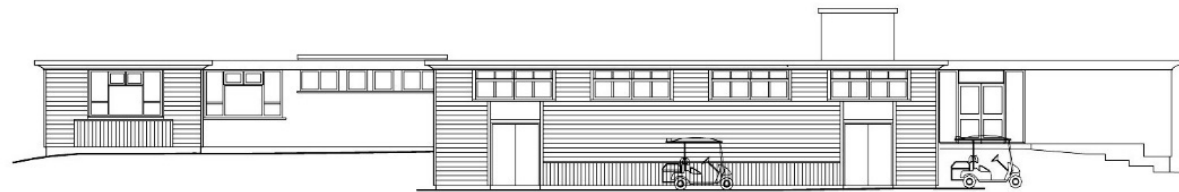
The Housekeeping/Maintenance Building is a service function for the holiday accommodation and will be the base for all cleaning and laundry services. The proposed building is the original Quarry Administration Building, which is located to the South of the short stay car park. This is currently a single storey brick building with steel window frames of no visual merit. The building is to have new dark grey aluminium powder coated windows and is to be over-clad with board and batten vertical timber cladding. A new dark grey powder coated aluminium fascia and rainwater goods will also be introduced. The cladding materials will therefore tie it back to those used on the Hub building.



North West Elevation



North East Elevation



South East Elevation



South West Elevation

- ① Board & Batten Vertical Accoya Timber Cladding, Colour TBC
- ② Horizontal Accoya Timber Cladding, Colour TBC
- ③ Powder Coated Aluminium Glazing Frames, Colour Grey
- ④ Existing Brickwork painted Black
- ⑤ Powder Coated Aluminium Profiled Gutters & Fascias, Colour Dark Grey



Revision Description Date

**NB DA**  
Architects

www.nbdaarchitects.co.uk Tel: 01423 217550

Client: LAVER LEISURE

Project: MONEYSTONE QUARRY

Drawing: HOUSEKEEPING/MAINT BUILDING  
PROPOSED ELEVATIONS

Drawing No: 1733-HK-014 Revision

Scale: 1:100@A1 Date: 12.04.19 Drawn: JGF

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A1 Drawing

## 8.0 ACCOMMODATION

All of the accommodation is within Lodges, which will fall under the Caravan Sites Act 1968 and all will be factory built and transported to site by road on a low loader. This Act dictates fundamental aspects of the shape and size of the Lodges.

All of the accommodation is to be solely for holiday use and approximately 60% will be Hire Fleet and 40% Sales, albeit the final mix will be determined by market requirements. Please refer to Chapter 6 of the Supporting Planning Statement which addresses this in great detail. The hire fleet units will be sited and operational to enable the park to open for holidays and the areas where these units are sited will be fully completed with decking and landscaping. Upon completion of the development works the sales plots will be left as concrete slabs and the lodges will be sited when purchased by individual owners. Due to the fact that they will need to be wheeled/craned into place it is not feasible to carry out all landscaping works around the plots until all of the local works associated with the actual siting have been completed. The timescale for this will be dictated by the sales process.

It should also be noted that as the lodges are manufactured units, exact internal layouts and window positions will vary depending upon the products that individual manufacturers are producing at any particular time. However, the external appearance and cladding materials, window/doorframe colours and roof finish etc can be dictated.

## 9.0 LODGE FORM AND FINISHES

All Lodges will comply with the definition of a caravan as set out within the Mobile Homes Act 2013 (Published 2015).

## 9.1 DEFINITION OF A CARAVAN

Appendix 2 of this act confirms the 'Definition of a Caravan' as set out below:

### Appendix 2 – Definition of a caravan

Section 29 of Caravan Sites and Control of Development Act 1960:

*“caravan” means any structure designed or adapted for human habitation which is capable of being moved from one place to another (whether by being towed, or by being transported on a motor vehicle or trailer) and any motor vehicle so designed or adapted, but does not include—*

- (a) any railway rolling stock which is for the time being on rails forming part of a railway system, or*
- (b) any tent;*

Caravan Sites Act 1968 Section 13 – definition of twin unit caravans as amended by the Caravan Sites Act 1968 and Social Landlords (Permissible Additional Purposes) (England) Order 2006 (Definition of Caravan) (Amendment) (England) Order 2006

- (1) A structure designed or adapted for human habitation which—
  - (a) is composed of not more than two sections separately constructed and designed to be assembled on a site by means of bolts, clamps or other devices; and*
  - (b) is, when assembled, physically capable of being moved by road from one place to another (whether by being towed, or by being transported on a motor vehicle or trailer), shall not be treated as not being (or as not having been) a caravan within the meaning of Part 1 of the Caravan Sites and Control of Development Act 1960 by reason only that it cannot lawfully be so moved on a highway when assembled.**
- (2) For the purposes of Part 1 of the Caravan Sites and Control of Development Act 1960, the expression “caravan” shall not include a structure designed or adapted for human habitation which falls within paragraphs (a) and (b) of the foregoing subsection if its dimensions when assembled exceed any of the following limits, namely—
  - (a) length (exclusive of any drawbar): 65.616 feet (20 metres);*
  - (b) width: 22.309 feet 6.8 metres);*
  - (c) overall height of living accommodation (measured internally from the floor at the lowest level to the ceiling at the highest level): 10.006 feet (3.05 metres).**
- (3) The [Secretary of State] may by order made by statutory instrument after consultation with such persons or bodies as appear to him to be concerned substitute for any figure mentioned in subsection (2) of this section such other figure as may be specified in the order.*

## 9.2 TYPICAL PROPOSED LODGES & PALLETTE OF MATERIALS

The lodges are to be timber clad (a mixture of horizontal and vertical cladding) with aluminium powder coated windows. Due to the fact that the lodges are to be delivered to site by lorry, in order to minimise the transport weight the lodges will all have matt granular finished pressed metal roofing with the appearance of roof tiles. Due to the shallow pitch the roofs are not dominant features. There will be a mixture of lodge internal configurations depending upon the location within the park. Generally, around the lake in Q3 the lodges will be centre lounge with external decks running along the length of the lodge, whereas elsewhere they will generally be end lounge with the external decks running across the width of the lodge (see images below). The external deck facing and lodge skirts are to be formed of dark grey panelling to match the colour of the window frames. Glass balustrades to enclose the deck areas are also proposed.



Typical Monopitch Timber (Vertical & Horizontal) Clad Lodge. Pale Grey Powder Coated Aluminium Frames. Galvanised Rainwater Goods. Pressed Metal roof. Timber Skirt and Deck Posts



Typical Monopitch Timber (Vertical & Horizontal) Clad Lodge. Black Powder Coated Aluminium Frames. Black Rainwater Goods. Pressed Metal roof. Black Skirt & Deck Posts



Typical Pitched Horizontal Timber Clad Lodge. Pale Grey Powder Coated Aluminium Frames. Galvanised Rainwater Goods. Pressed Metal Roof. Timber Skirt and Deck Posts



Vertical Timber Cladding



Horizontal Timber Cladding, Dark Grey Frames



Roof Finish: Tile 'Lookalike' Pressed Metal Trays. Dark Grey Matt Finish

**9.3 TYPICAL LODGE PLOT SETTING**

Each lodge will have at least one hard standing allocated parking space adjacent. These will be connected to the lodge deck by footpath. The following indicative visuals show typical lodge plot settings.

**9.3.1 SINGLE AND TWIN LODGE - END LOUNGE**

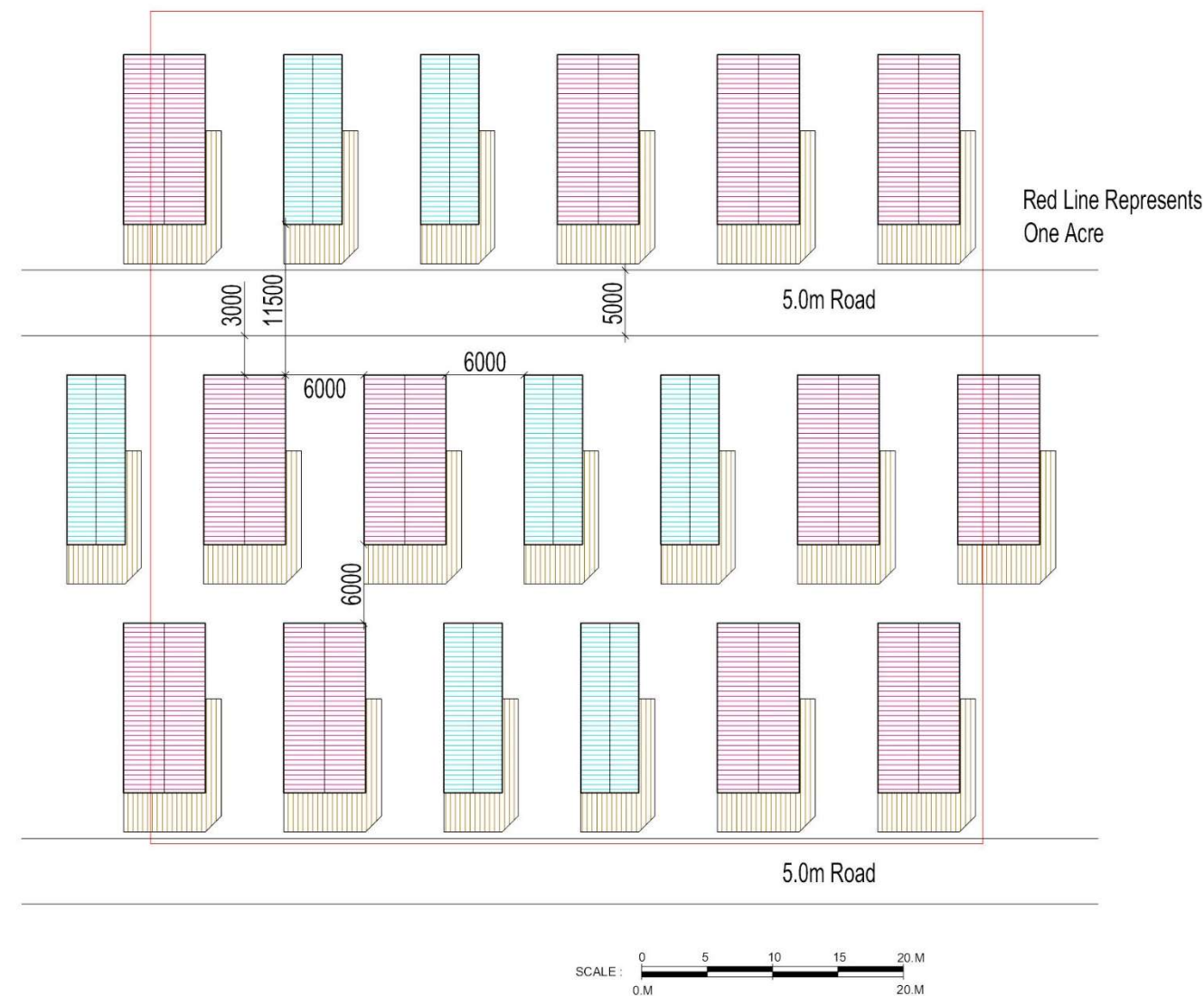


**9.3.2 SINGLE AND TWIN LODGE - CENTRE LOUNGE**



#### 9.4 LODGE SPACING & DENSITY

The site License Model Standards dictate that the minimum separation between 'Lodges' falling under the Caravans Act that are finished in anything other than metal cladding should be 6.0m face to face and a minimum of 2.0m from any roadway. For the majority of standard commercial holiday parks the minimum spacing is the norm. A realistic and common staggered layout with between 3.0 and 3.5m from face of lodge to road edge is indicated below. This leads to a density of over 15no. lodges per acre.



The lodge layout within Q1 has been designed to be informal and much more relaxed than the orthogonal layout indicated above. It also incorporates ribbons of landscaping and linking pedestrian routes. Below is an extract of the proposed Q1 layout, which has had a red grid added to indicate acres and dimensions between corners and faces of lodges. This clearly indicates that the density within Q1 is no more than 8no. lodges per acre, almost half the density of a standard commercial leisure layout. It should also be noted that under the Outline Permission 250no. Lodges were approved and the current Reserved Matters Application is for only 190no. Lodges. The density indicated within Quarry 1 and 3 is significantly less than the worst case scenario assessed within the Outline Planning Permission.



Within Q3 the density of lodges is considerably lower still. Around the lake edge there are 31 no. lodges, which are oriented to be end on where there is an adequate 'shelf' width or side on where there is not. This enables the lodges to be laid out into groups and the creation of significant pockets of landscaping between the groups. Again a 1 acre grid has been overlaid onto the site plan. This clearly indicates that within Q3 the maximum density is 6no. Lodges per acre, but is more generally between 3 and 4no. per acre

