



## **Design & Access Statement**

Springhill Farm, Totmonslow, Tean: Proposed Agricultural Shed

PP-06761836

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## Introduction

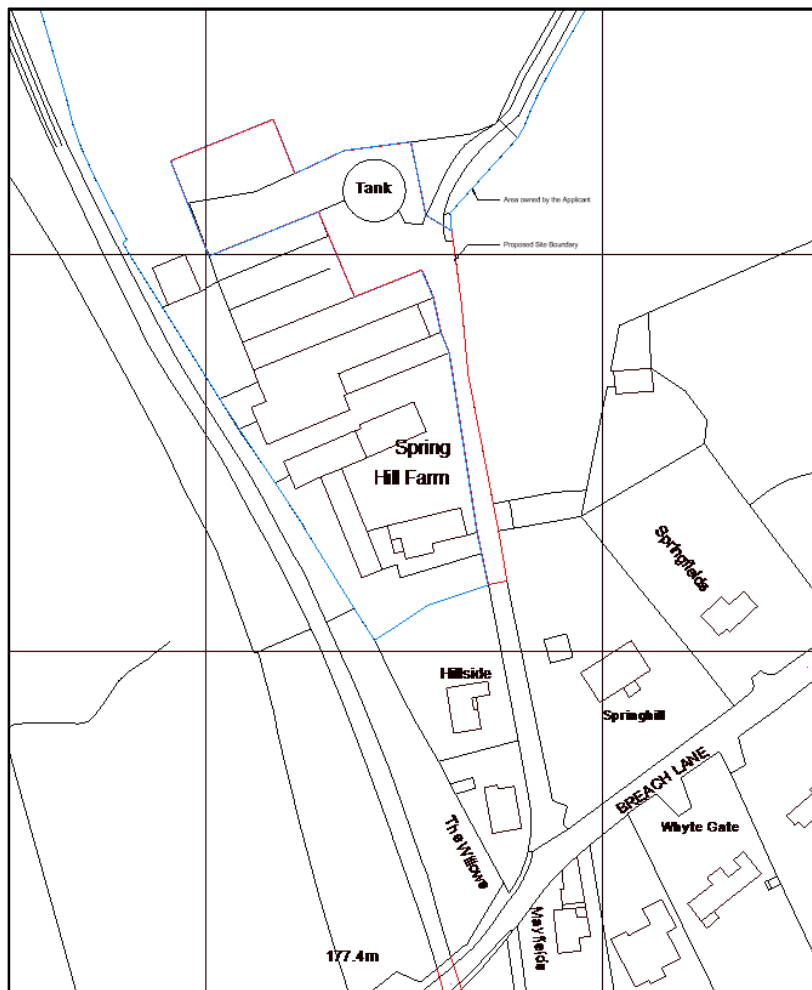
This Design & Access Statement has been prepared by Smytheman Architectural in support of an application for full planning consent submitted retrospectively to Staffordshire Moorlands District Council, commissioned on behalf of the property owner; Mr Eyre. This document intends to demonstrate that the applicant has carefully considered the site, the building and the wider context when formulating the proposals.

This document should be read in conjunction with the following drawings:

- PE-SA-XX-XX-DR-A-0101 Location Plan
- PE-SA-XX-XX-DR-A-0102 Existing and Proposed Site Plan
- PE-SA-XX-XX-DR-A-0401 Scheme Proposals

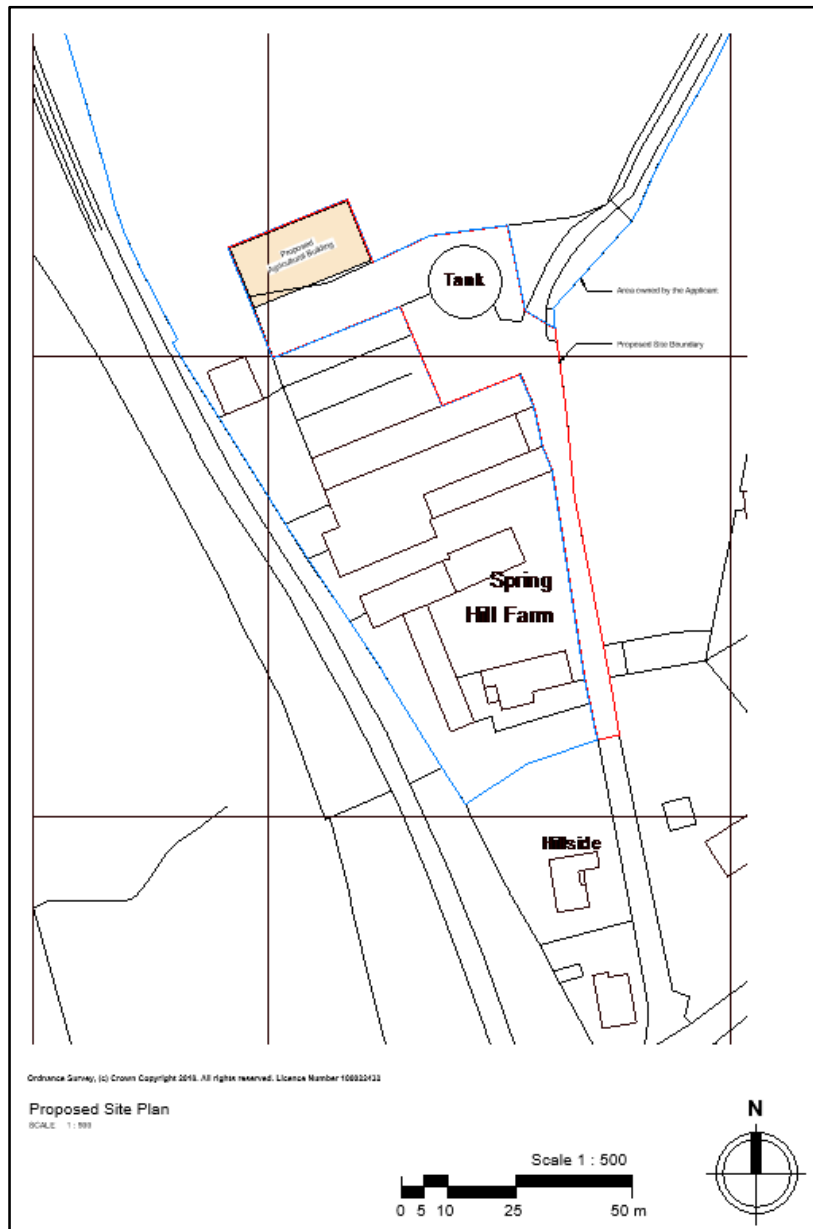
## Location

National Grid Reference: **99418 40012**



**Figure 1: Site Location (edged in Red)**

- The proposed site is located on an existing working Farm owned by the Applicants.
- The site is a Flood Risk Zone 1 site. Meaning there is low risk of flooding.



**Figure 2: Proposed Site Plan**

- The proposed Agricultural Building is approximately 378m<sup>2</sup>
- The proposed Agricultural Building is in the proximity of other farm buildings located within the site.

## Planning Law:

*'E3 Under both Classes, development: must be on agricultural land, which means land in use for agriculture for the purposes of a trade or business, and excludes any dwelling house or garden;'*

- The proposed agricultural Cowshed is positioned on an existing working farm.

*'must not be within 25 metres of the metalled part of a trunk or classified road.'*

- The proposed agricultural Cowshed is positioned greater than 25m away from an existing road.

## *'E4 Under Class A'*

*'Buildings, structures or works must not exceed 12 metres in height, or 3 metres within 3 kilometres of the perimeter of an aerodrome;'*

- The proposed structure is no greater than 7.3m to the ridge height.

*'The ground area of any works or structure (other than a fence) for accommodating livestock or any plant and machinery arising from engineering operations, or of any building erected or extended under this Class, must not exceed 465 square metres. The relevant calculation is: (i) the ground area of the proposed development; plus (ii) the ground area of any building (other than a dwelling), structure, works, plant, machinery, ponds or tanks which is (a) within the same agricultural unit, (b) less than 2 years old, and (c) within 90 metres of the proposed development. Hardstandings should be included in (i) only if they are for accommodating livestock, but in (ii) whether or not they are so used;'*

- The proposal has a footprint of circa 378m<sup>2</sup> GIA therefore within the allowance of up to 465 square metres.

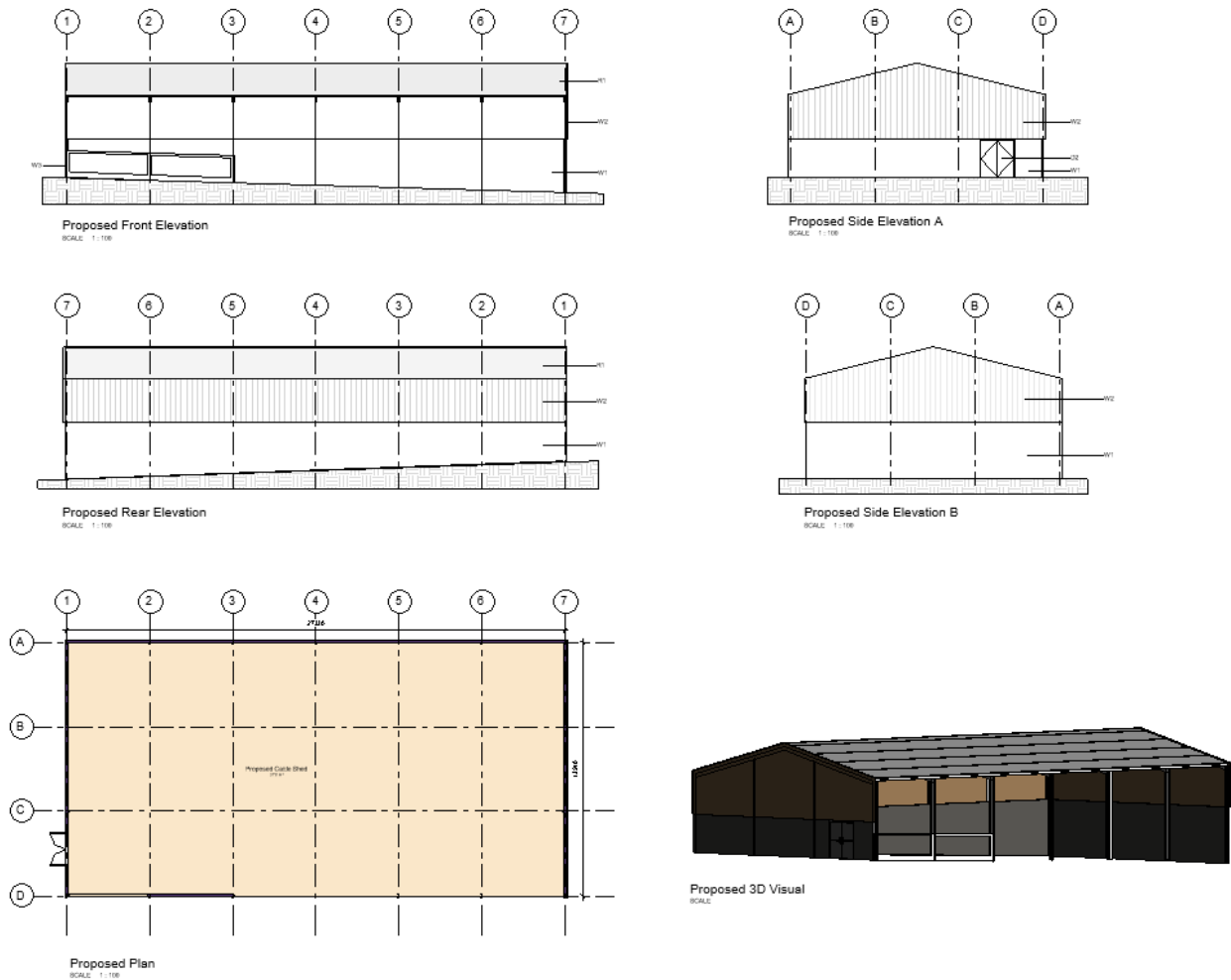
*'E32 The colours chosen should be compatible with the rural setting, not to camouflage the building, but to allow it to relate to existing buildings. Careful choice of colour reduces the apparent scale of a large agricultural building (eg if the roof of a building is coloured darker than the walls, its visual impact on its surroundings is reduced). The use of reflective materials should be avoided.'*

- The scheme proposals have been carefully considered to ensure that it fits in with the rural setting. Materials have been selected to be in similar appearance to existing farm structures.

## Proposals

The applicant; Mr Eyre is looking to create a new agricultural Cowshed to accommodate the needs of his existing agricultural business.

The scheme proposals have been designed to fit in with the surrounding farm yard buildings to ensure consistency is maintained across the site.



**Figure 3: Barn Scheme Proposals**

## **Design**

### **Use**

The site is an existing farm. The proposal is for an ancillary ~~£~~Cowshedq

### **Amount**

The proposal has a footprint of circa 378m<sup>2</sup> GIA.

### **Layout**

Building layout is open plan to provide shelter to livestock.

### **Scale & Massing**

The building is single storey and has a ridge height of circa 7.3m, this is similar to the existing structures on the site.

### **Appearance and Materials**

The building shall be in similar in appearance to the existing site structures. Façade treatment shall comprise of concrete wall panels to 2m in height. Above this ~~hit~~ and missq vertical cladding shall be installed.

### **Landscaping**

There are no proposed landscaping alterations.

### **Traffic Generation, Access and Car Parking**

The proposals will not result in any alteration to the total number of parking spaces on the site or any increase in traffic from visitors entering and leaving the site.

## Conclusion

The proposed new agricultural barn should be **approved** for the following reasons:

- The barn is in keeping with the surrounding buildings and positioned near the existing farm buildings.
- The proposed Barn is extending the usage of the existing site.
- The construction of the Barn will allow an existing farm to grow and expand therefore supporting the local economy and industry.