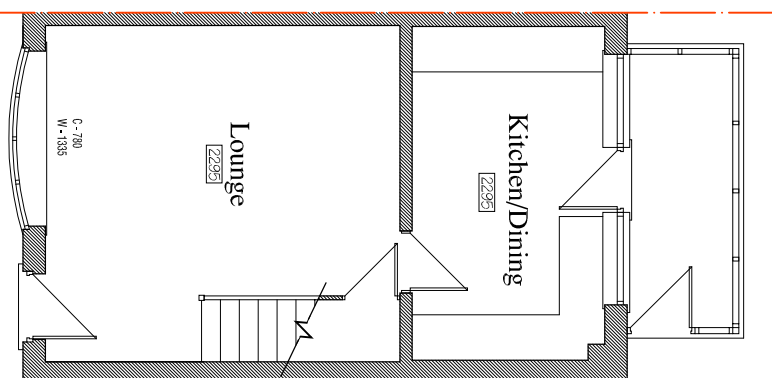


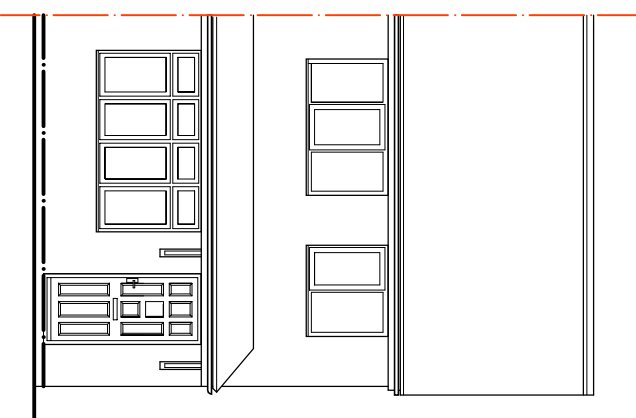
Proposed Front Elevation

Proposed Side Elevation

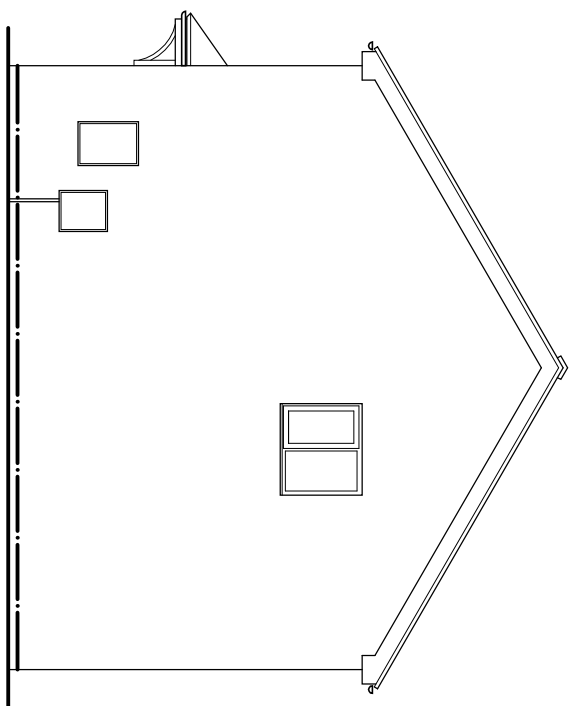
Proposed Side Elevation



Existing Ground Floor Plan



Existing Front Elevation



Existing Side Elevation

Where new roof abuts existing walls provide code 4 lead flashing and stepped cavity trays. All cavity trays (to BS6515) to be provided with weep-holes in brickwork every 3 pends.

100mm half-round U.P.V.C. eaves gutter, fixed to UPVC fascia, to 68mm dia. Rainwater pipe, to existing drainage system via 100mm dia. supersleeve drain (to be bed & surround in pea gravel).

GENERAL

filled with 24mm (1mm closed doors and windows to clients specification Bata) double glazing units and draught proofed, also ensure that windows are fitted with trickle vents to provide min. $8000\text{cm}^3/\text{m}^2/\text{s}$ background ventilation. Glazing to achieve min. U-value of $1.8\text{W/m}^2\text{K}$. Safety glazing to BS EN 12150, in 6mm toughened or laminated glass to all entrance doors and side lights up to 1500mm above ft and any glazing within 500mm of doors. Safety glazing to ft windows between ft and 800mm above that level. Doors fitted with excess of 50% glazing must achieve min. U-value of $1.8\text{W/m}^2\text{K}$. Provide Galenic 'Conquer' 90/100 inlets over, min. 150mm end board. If attic vents load imposed then use CUB 90/100 inlets. Provide thermotite cavity closers.

Main usage lighting where practicable to be by compact fluorescent energy efficient lamps, which have a luminous efficiency greater than 40 lumens per circuit-watt.

All new radiators to be fitted with thermostatic radiator valves with the exception of those in the room which contains the room thermostat.

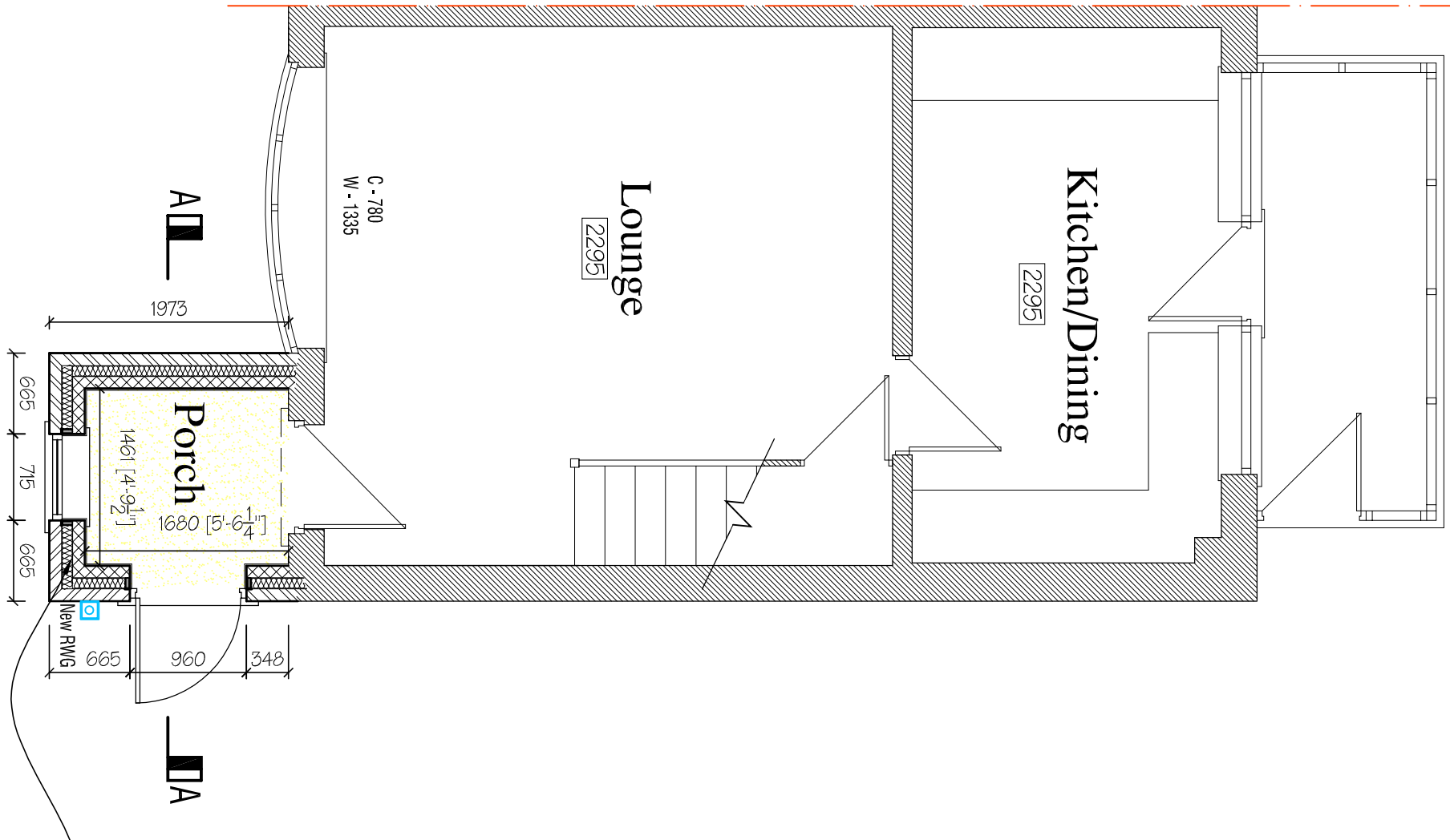
All electrical work required to meet the requirements of Part (Electrical Safety) must be designed, installed, inspected and tested by a person competent to do so. Prior to completion the Council should be satisfied that Part P has been complied with. This may require an appropriate BS 7671 electrical installation certificate to be issued for the work by a person competent to do so.

All drainage runs to be confirmed on site before work commences by appointed contractor. JPK Design Ltd to be contacted should further input be required.

Provide concrete lintel over where existing drains pass through wall construction below D.P.C. Pipes encased in concrete under slab. Foundations taken down below drain invert, where applicable.

New foundations and concrete floor slabs to consist of C35 concrete unless otherwise stated by Structural Engineer

Wall construction consists 102mm Brickwork externally to match existing with 30mm cavity filled with 85mm Glass mineral Earthwool D11Hem 32 ultimate cavity slab 100mm Duxco Supapho board internally faced with No. 125mm Gyproc plaster board (Gyproc 'Duplex' Boards in wet areas) on dabs and skin finish. Use stainless steel cavity wall ties to D1040 Type 4 and use Galvic Stronghold connectors or similar to B5, 1449, where new walls abut existing. Wall ties to be positioned approx 900mm - Wall construction achieves U-value of 0.26 W/m²K.



Proposed Ground Floor Plan

Alter Roof as necessary to accommodate extension including trimming to new Valley rafter.

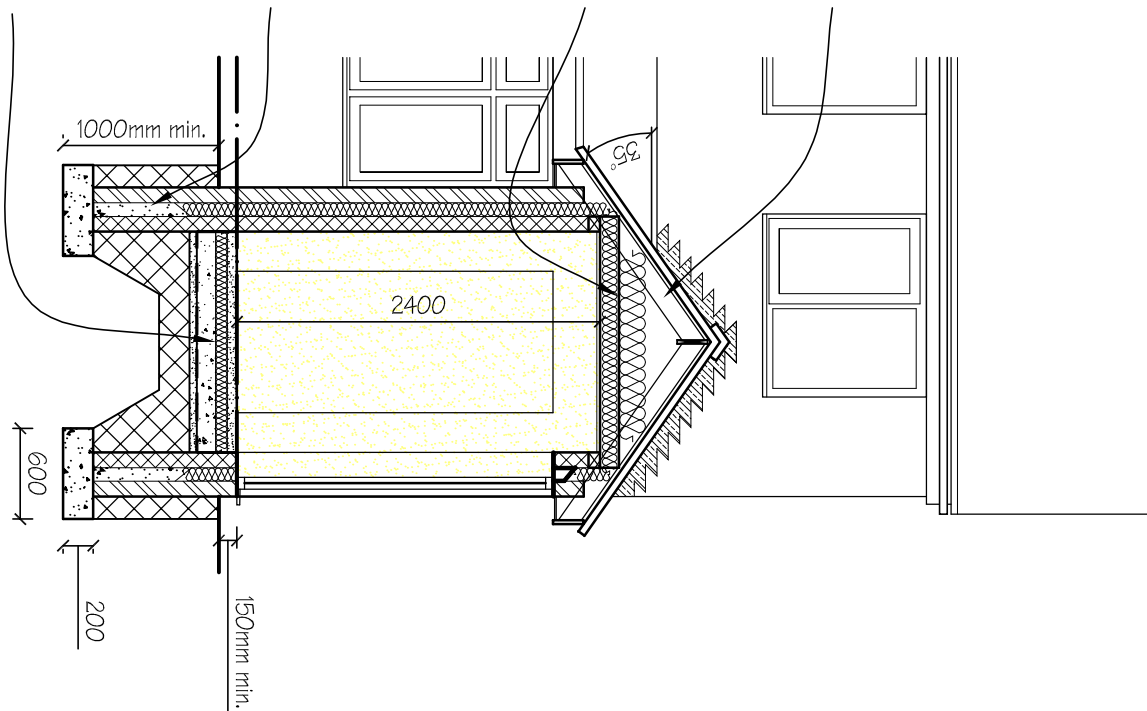
Roof construction to consist of Plain roof 65mm headlap on 35 x 20mm battens @ 100mm max gauge on 1 layer 1/2" breather/liner membrane or similar. All to be laid on 125mm x 44mm 5/6 grade rafters at 450mm centres banded/nailed over 100mm x 75mm timber wall plate fixed to new cavity wall. Wall plate Strapped down at 1800mm centres by means of 30mm x 5mm galvanised mild steel straps.

Ceiling construction consists 125 x 44mm C16 ceiling joists at 450mm c/cs with 100mm Crown Wool quilt between joists & 170mm cross layered across joists. 1No. layer 125mm Gyproc plaster board (Gyproc 'Duplex' Boards in wet areas) and skim to packed ceilings (Roof section achieves min required U-value of 0.16 W/m² K).

Provide ventilation to new roof by means of fitting Glidvale SY604"E soffit ventilators to give equivalent of 10mm continuous air space.

Walls below D.P.C. to consist of F.L. class brickwork or dense concrete blockwork built off 600 x 200mm concrete strip foundations reinforced with 2 layers B500 fabric, taken down to a depth deemed to satisfy L.A. appointed Building Inspector. provide lean-mix concrete to cavity below ground.

Floor construction to consist of 63mm sand & cement screed reinforced with light mesh/clickmat on 75mm Krauf Polymor Floorboard Standard boards, with 25mm boards turned up at edges on 125mm concrete oversite reinforced with No. 10 layer A42 fabric on No. 10 layer 1200 gauge Visqueen DPM (lapped under horizontal PFC in wall), on 50mm sand blinding, all on m/s 150mm thoroughly compacted sulphate free hardcore. Floor achieves min. required U-value of 0.22 W/m²K.



Section @ AA

A.	16/05/2018	Full Floor Plan shown.
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THE DRAWING / DES IS NOT TO BE REPRODUCED WITHOUT PRIOR CONSENT TO BE GIVEN IN CONSULTATION WITH ALL STRUCTURAL OR OTHER SPECIALIST PRACTICES / DETAILS AND IS NOT TO BE SCALED. ALL CONTRACTORS ARE TO CHECK GIVEN DIMENSIONS AND VERIFY ANY DISCREPANCY WITH PROPOSED L/D PRIOR TO CONSTRUCTION. COMMENCEMENT OF WORKS PRIOR TO L/D PLANNING / BUILDING REGULATIONS APPROVAL IS AT CONTRACTORS OWN RISK. THE PARTY WALL ETC ACT 1991 IS EFFECTIVE FROM THE FOLLOWING CIRCUMSTANCES APPLY: THE WORK IS BEING CARRIED OUT TO OR ON THE PARTY WALL.

C. ANY NEW FOUNDATIONS PROJECT ONTO OR BELOW THE NEIGHBORHOODS AND D. NEW EVALUATIONS WITHIN/AM ARE DEEPER THAN THE NEIGHBORHOOD FOUNDATIONS.

IF PRICING THE PERSON OWNING THE BUILDING (PERSON WHO THE PROPOSED WORK IS TO BE CARRIED OUT) HAVING OTHER BUILDING UNDERWAY, THE LEGAL OWNERS OF THE ADJACENT RESIDENCES (OR THE PERSON BEING UNDERPAID AND/OR CONSULTING FOR THAT WORK) NOTIFICATION UP TO 2 MONTHS PRIOR TO COMMENCEMENT OF WORKS MUST BE MADE AND REQUIRED IN SOME OF THE WORKS. THEREFORE, YOU WANTED TO OBTAIN FURTHER INFORMATION AS CONTAINED WITHIN THE PARTY WILL ETC ACT 1996. EXPLANATORY BOX/LET FROM THE GOVERNMENT WEBSITE WWW.COMMUNITIES.CO.UK TO ESTABLISH YOUR RESPONSIBILITIES AND OBTAIN CONSENT PRIOR TO SITE WORKS COMMENCING.

PR DESIGN ARE NOT THE APPOINTED PRINCIPAL DESIGNER AS DESCRIBED IN THE **COM REGULATIONS 2015**. AS SUCH, ALL BUILDING WORKS MUST BE CARRIED OUT BY A SINGLE CONTRACTOR WHO MUST TAKE ON THE CLIENTS DUTIES AS WELL AS THEIR OBLIGATIONS AS THE PRINCIPAL CONTRACTOR. FOR WORK WITH MORE THAN ONE CONTRACTOR OR CONJUNCTIVE WORK, IT IS THE CLIENTS DUTY TO APPOINT A PRINCIPAL DESIGNER AND /OR PRINCIPAL CONTRACTOR TO FULFIL THE ROLE AND DUTIES UNDER THE USE COM REGULATIONS 2015.

JPK
DESIGN LTD

CONCEPT  **DESIGN**  **MANAGEMENT** 

Specialists in Architectural Design

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t: 01782 622321
e: jason.knight@jpkdesign.co.uk

DRAWING TITLE												
Working Drawing												
PROJECT												
Proposed Porch Extension to front at 12 Farnham Drive,												
Biddulph, Staffordshire, ST8 6TB												
CLIENT												
Mr. A. Gibson												
SCALE @ A2												
1:100 & 1:50												
DRAWN BY												
January 2018												
DATE												
Mitch J Cracknell												
DRG. No.												
JPK/18/3955/1												
A												