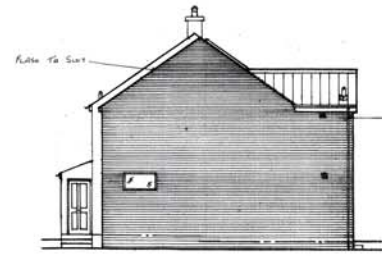


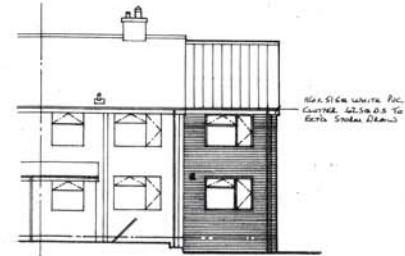
Side Elevation



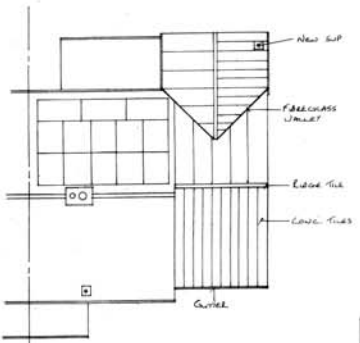
Rear Elevation



Side Elevation

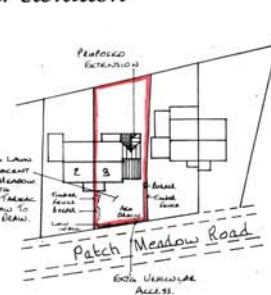


Front Elevation



Roof Plan

Plumbing Notes:
Internal pipework and associated fittings to be UPVC by Marley or similar approved manufacturer to BS 5255:1976 or BS 5572:1978.
All joints to be of 'O' ring type. Minimum branch sizes and soil depths to be as follows:- Wash hand basins - 32mm dia, 75mm soil min.
Shower and bath - 40mm dia, 75mm soil min. W.C. - 100mm, 50 soil min.
All signs to be anti-siphon type.
Water supply to kitchen, utility, wc and en-suite to comply with regs G1 and G2.



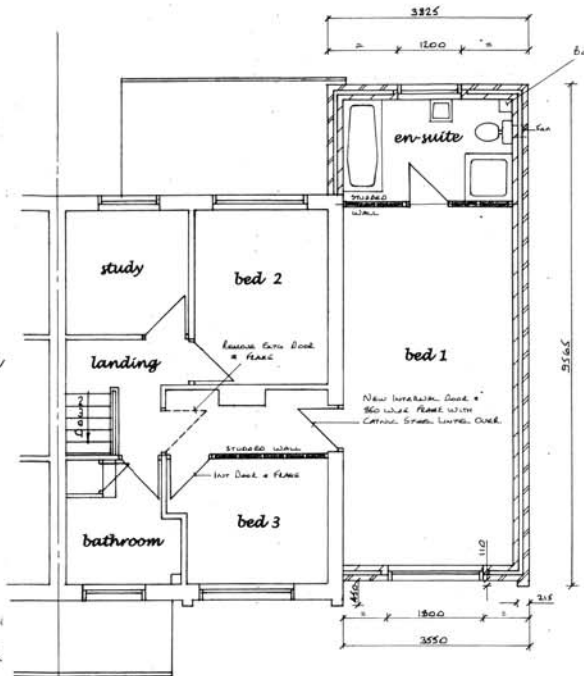
Site Plan 1:500

Window and Doors Details:
All new windows and doors to be white upvc double glazed with cause steel frame over with minimum opening lights of 190 x 750, 1100mm max from floor level to window bottom where applicable for means of escape.
Glazing to be 'A' rated plastic film again filled, low iron, fully insulated to achieve a U value of 1.6w/m²K.

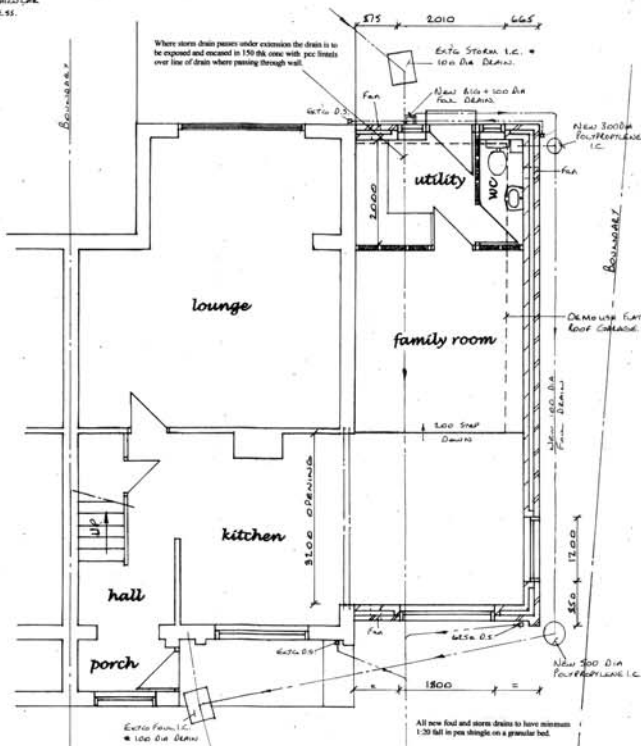
Kitchen
Utility
W.C.
Bed 1
En-suite
1800 x 1200 window, to suit 1200 x 600 window C/90/100
915 x 2000 door and 500 x 900 window C/90/100
500 x 900 obscure glazed window C/90/100
1800 x 1200 window C/90/100
1200 x 1975 window C/90/100



Location Plan 1:1250



First Floor Plan



Ground Floor Plan

Construction Notes:
1. Antique terrace Marley Laidon major concrete interlocking slabs to match existing dwelling on 50mm x 75mm dia. reinforced timber on 1 layer tyrod breathable felt installed to manufacturer instructions on prefabricated beams at 11° pitch to BS5268 at 600cc on 100 x 25mm wallplate fixed to brickwork using 20mm x 3mm x 100mm long wallplate at 2 metre c/c. Trusses fixed to plate with clips provided. Roof bracing - 100 x 25 dimension at 4° to suit slope of roof.
2. All new timber to be fixed to wall in each case. Lateral restraint ties at 2000mm centres maximum at verge and ceiling level to each gable. Lateral support to AD Part 1 para 1.2.3.
3. 100mm dia. blackwood rafters in 1 layer of 150mm laid between ceiling joists and 1 layer of 150mm at 90° to each other. Vapour sheet between plasterboard and joists. 12mm dia. hot backed plasterboard and skins.
4. 1" floor construction - 2mm dia. wire mesh on 170 x 47mm floor joists at 400 c/c on rebar type galvanneal using 30 x 5mm galvanneal steel strips at 2 metre centres opening 3 joists and turned over walls.
5. Blockwork - 100mm strong brickwork to front and rear elevation. Light brown to side elevation, corner pillar and below dip to match existing dwelling. 100mm cavity walls filled with rockwool cavity bats to be linked to roof insulation. 100 dia. fibre rebar blocks to be linked to roof insulation.
6. 1" value of external walls = 0.28w/m²K.
7. 170 upvc fascia board and 50mm upvc.
8. Floor - superior floor finish on 50mm sand/cement screed on 100mm concrete on 500 gauge vapour barrier above 100mm 120kg/m³ lightweight duty proof membrane linked to river leaf dge on 50mm dia. sand on 150mm layer of sulphate free hardcore. Dips to continue across wall cavity with a cavity tray over for basic water protection.
9. Fine coat fill to within 150mm of dge.
10. Foundation - 600 x 230mm dia. concrete strip foundation minimum 1 metre below ground level.

- General Notes:**
1. Details laid to fully & to the satisfaction of the building inspector. Where drains pass close to foundation the foundation should be taken down to the lowest level of the existing adjacent drains or the drains should be encased in concrete to the underside of the foundation concrete.
 2. Where existing storm drains pass under extension the drain is to be exposed and encased in 150mm concrete with precast concrete limits over side of drain where passing through walls.
 3. U value of extension to achieve a max of 0.28w/m²K for external walls, 0.16w/m²K for roof.
 4. Cross ventilation to roof as accordance to reg F2, diagram 1.
 5. Electrical work to IEE standards with the design, installation, inspection and testing of the electrical installation to be carried out in accordance with BS7671:2001 and the certification to prove this.
 6. Walls & ceiling finishes to reg B2.
 7. Internal walls to be 75mm x 50mm timber studwork with 12.5mm plasterboard and skin both sides with 100mm mineral wool in between for sound insulation.
 8. All limits over ground floor openings to be exposed and replaced if deemed to be unsuitable to carry additional loads.
 9. Structural timber to be of C16 grade except where stated otherwise.
 10. Wall ties to be stainless steel to BS Type 4, AD Part 4 and to be spaced at 750mm horizontally and 450mm vertically.
 11. Kitchen to have mechanical extract ventilation of at least 60 litres/sec (30 litres/hr) if in corner hood.
 12. Utility, wc and en-suite to have mechanical extract ventilation of at least 30 litres/sec.
 13. Water supply to kitchen, utility, wc and en-suite to comply with regs G1 and G2.
 14. Habitable rooms to have background ventilation of at least 10000mm² by trickle ventilation to windows or through the wall ventilation.
 15. Non habitable rooms to have background ventilation of at least 5000mm².
 16. External limits to be filled with three glass insulation.
 17. Glass in critical locations to comply with BS6122:1999.
 18. All new external frames to be painted in marine internally and externally.
 19. All new double glazed windows to comprise 2mm glass panes with a 20mm air space incorporating Low E glass to achieve a U value of 1.6w/m²K, windows to be 'A' rated.
 20. Rapid ventilation should be at least 1/3 of the floor area of all habitable rooms.
 21. Screens to all windows and doors should be via properly installed screens achieving a U value of 0.6w/m²K.
 22. All new radiators to be fitted with thermostatic valves.
 23. Provide energy efficient lighting in para 1.5.4 Approved Document L1.
 24. Provide interlinked smoke detector system to BS5824 or 2004 (Grade 1) Category L10 to be mains operated with battery back up to hall and landing.
 25. Equipped windows to have a minimum opening of 450mm x 150mm, 1100mm max from floor level to window bottom.

Proposed Side Extension To Form Larger Kitchen And Family Room, Utility Room And Wc With Bedroom En-suite Over At No 3 Patch Meadow Road, Cheadle, Staffs Moorlands For Mr. M. Sherriff And Ms R. Davies.
Drg No 125/179/1
Date -> February 16th 2018.
Scale -> Floor Plans 1:50, Elevations 1:100.