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FLOOD RISK ASSESSMENT

WILLOW VETERINARY CLINIC, 385 LEEK ROAD, ENDON, ST9 9BA



(photo curtesy of google images)

January 2018

INTRODUCTION

This flood risk assessment is to identify any current and potential flooding issues at Willow Veterinary Clinic, 385 Leek Road, Endon, ST9 9BA

The assessment is prepared to accompany the full planning application for the extension and internal alterations at Willow Veterinary Clinic. This document is written in accordance with the requirements of technical guidance to the national planning policy framework that states a flood risk assessment is required as support for the above application.

Within this document the aims are to establish the following:

- will the proposal be affected by current or future flooding*
- will the proposal increase flooding elsewhere*
- are the measures taken to manage flooding appropriate*

The site lies within flood zone 2

DEVELOPMENT SITE AND LOCATION

The site is located at Willow Veterinary Clinic, 385 Leek Road, Endon, ST9 9BA

Willow Veterinary Clinic, established in 1990, provides 24-hour emergency care service to their clients providing in house treatment for many surgical and medical cases.

The existing site is finished with tarmac throughout, rainwater currently runs into the gullies which run into a storm water drain.

DEVELOPMENT PROPOSALS

The full planning application is for an extension with internal alterations.

The application is for an extension to the side of the property. This will allow for a larger waiting area which shall be divided into both cat and dog waiting areas. This shall allow Willow veterinary clinic to progress from a silver to gold RCVS accredited award and will meet the cat standards scheme as it allows for designated areas for both cats and dogs. The extension shall also allow for larger consultation rooms with a separate specific area for dispensary and food store which is currently located within the reception/office area and also a larger scrub theatre area.

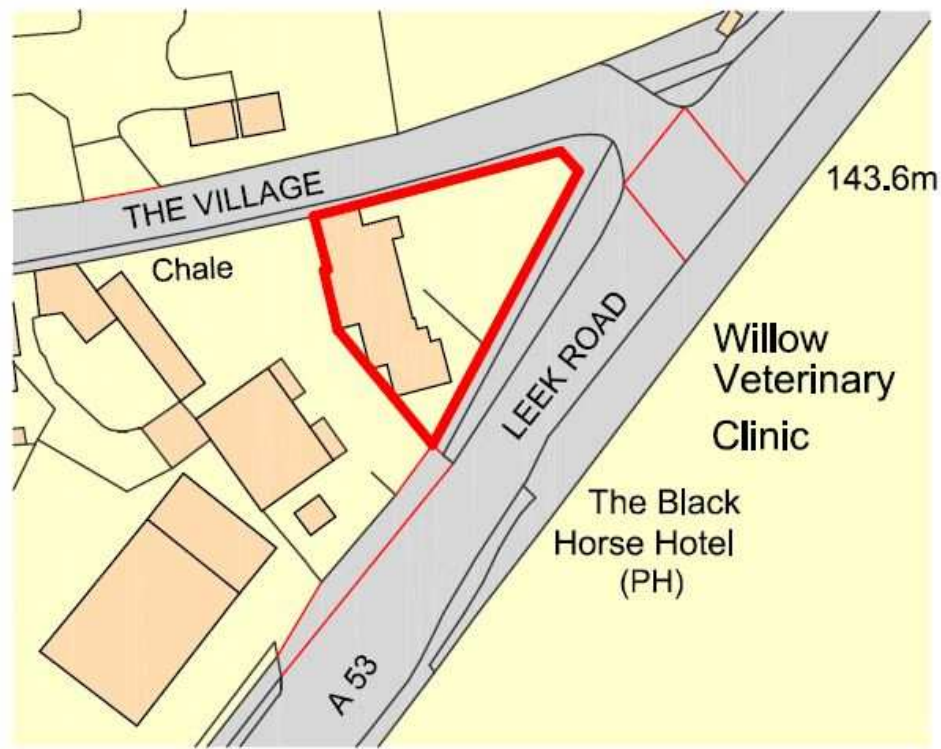
The scale of the proposal shall be 11.15sqm, therefore we believe due to the small scale of the extension it would not cause issues with flooding due to the practice being an established company which has been there for numerous years.

There shall be no change of use to the site.

The vulnerability of classification of the proposed development is 'less vulnerable'

The expected/estimated lifetime of the proposed development is likely to be within the excess of 10 years.

Site location plan of the site (not to scale)Site plan as proposed (not to scale)



Site plan as proposed (not to scale)



SEQUENTIAL TESTING

Other locations have not been considered due to the nature of the proposal which is for infill within an non domestic building. The proposal will infill an existing concrete slabbed area therefore a different location cannot be used as the proposal is connecting onto an existing building. The alterations to the site are minimal to allow a greater utilisation of the existing site. This class is deemed suitable without the requirement to carry out an Exception test for the site.

Willow Veterinary Clinic is an established business within Endon Village, and relocation elsewhere is not commercially viable at present which is why my client wishes to extend.

One of the main reasons for the proposal is to make the overall business more efficient. By gaining the additional floor space they can provide separate waiting areas for both cats and dogs, Therefore, a separate unit cannot be built elsewhere as it would no longer be fit for purpose.

The proposal would fall within the floodplain of the nearby stream which at approximately 75metres to the east. However, the proposed development would not reduce the area available for the floodwaters; nor would it increase the chance of flooding; nor would it reduce flood water storage space.

The site location has been taken into account when preparing an application as it upon tarmac. Currently any rain falling on the surface will drain off into the sewers. We believe taking in consideration the comments made above there is no alternative option for the relocation of the proposal.

SURFACE WATER MANGEMENT

The existing surface water drainage arrangements are that the rain water falls onto the tarmac surface which runs down into the storm water drain.

OCCUPANTS AND USERS OF THE DELEVOPMENT

The proposal shall not require any further members of staff. The time of use will be the same as existing.

EXCEPTION TEST

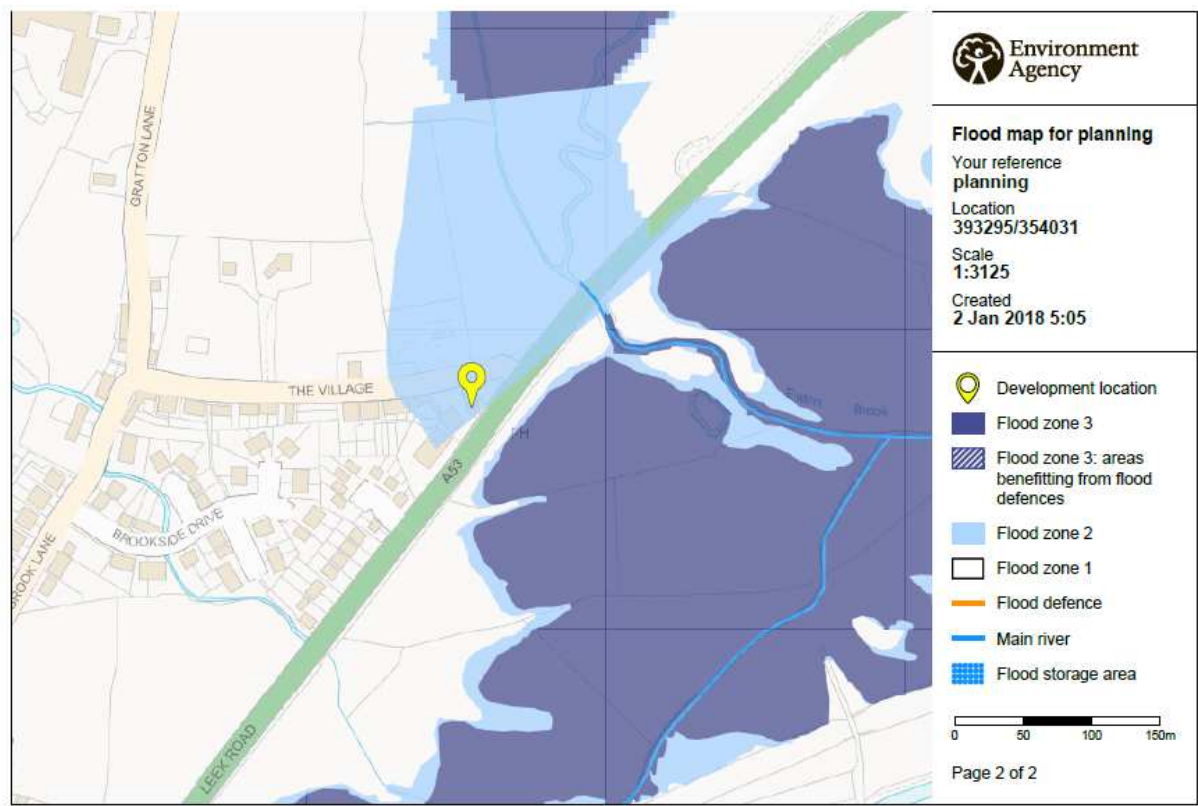
Not required as it considered less vulnerable.

CONCLUSION

A surface water drainage system is already in place upon the proposed site which we will connect to as part of the proposal, Therefore the development will not increase the risk of flooding either within the site or elsewhere.

ENVIRONMENT AGENCY INFORMATION

Your proposed development is in an area with a medium probability of flooding



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FLOOD ZONE	FLUVIAL FLOOD ZONE DEFINITION	PROBABILITY OF FLOODING
Flood Zone 1	Land having a less than a 0.1% Annual Exceedance Probability (AEP) (1 in 1,000 chance of flooding in any one year). Shown as clear on the Flood Map – all land outside Flood Zones 2 and 3.	Low
Flood Zone 2	Land having between a 1% AEP (1 in 100 chance of flooding in any one year) and 0.1% AEP (1 in 1,000 chance of flooding in any one year).	Medium
Flood Zone 3a	Land having a 1% AEP 1 in 100 chance of flooding in any one year) or greater.	High
Flood Zone 3b (Functional Floodplain)	Land where water has to flow or be stored in times of flood based on flood modelling of a 5% AEP event (1 in 20 chance of flooding in any one year) or greater, or land purposely designed to be flooded in an extreme flood event (0.1% AEP). Where detailed modelling is not available, it is assumed that the extent of Flood Zone 3b is equal to Flood Zone 3a. The identification of the functional floodplain takes into account local circumstances, but for the purposes of this SFRA, land modelled to flood during a 5% AEP (1 in 20 chance of flooding in any one year) or greater has been mapped.	Very High

The Environmental agency states that the proposal at Willow Veterinary Clinic falls under 'Less Vulnerable'

offices; general industry, storage and distribution; non-residential institutions not included in the 'more vulnerable' class

The table below shows the Flood risk vulnerability and flood zone compatibility table. The table suggests that due to our proposal falling within the less vulnerable category, the proposed development is appropriate as It is located within flood zone 2 and 3.

Flood Zones	Flood Risk Vulnerability Classification				
	Essential infrastructure	Highly vulnerable	More vulnerable	Less vulnerable	Water compatible
Zone 1	✓	✓	✓	✓	✓
Zone 2	✓	Exception Test required	✓	✓	✓
Zone 3a †	Exception Test required †	✗	Exception Test required	✓	✓
Zone 3b *	Exception Test required *	✗	✗	✗	✓*

Key:

✓ Development is appropriate

✗ Development should not be permitted.