



1 Project South As Proposed
1 : 50



3 Project North As Proposed
1 : 50

Proposed Materials

Roof

The existing roof is finished with dark grey concrete tiles with overhanging white plastic uPVC fascias and soffits.

Matching Concrete tiles to be used for the extension. Apex of roof brought in at eaves level matching current roof line. All new roofs will be installed to current part L requirements, none of the existing construction complies.

Walls

Existing red brick faced cavity walls, with internal block skin and plaster finish, upper floor has a skim of render externally.

The proposed external brick outer leaf will match the existing bricks in colour and appearance. Internal walls will consist of internal timber partitions at upper floor/ loadbearing blockwork where required. All mortar will match existing colour and appearance.

Windows

Existing windows are all white uPVC.

Proposed windows will be white uPVC, Rooflights will provide light to bedrooms and ensuites. All new windows will be fitted to current u values. (it is likely that these will far exceed standards - current market windows are achieving min 1.2 and often 0.4 w/m2oC).

Doors

Existing external doors consist of white UPVc front door and side door with rear glazed patio doors.

The existing side UPVc door will be omitted replaced with a window. The rear patio doors will be retained. A white uPVC sliding patio door will be added to give access to the new extended kitchen.

Boundary Treatments

Boundary treatments consist of red brick walls with a blue brick capping and a concrete capping. Finial balls sit above intermediary piers to the front of the property.

The rear of the property consists of hedges and concrete stone effect walls with a timber plank and post fence behind. All boundary treatments will be retained and unaffected by the application.

Rainwater Goods

Existing rainwater goods consist of square white uPVC rainwater downpipes and square profiled gutters.

Proposed White UPVC gutters and downpipes, white fascias and soffits - to match existing.

Vehicle Hardstanding

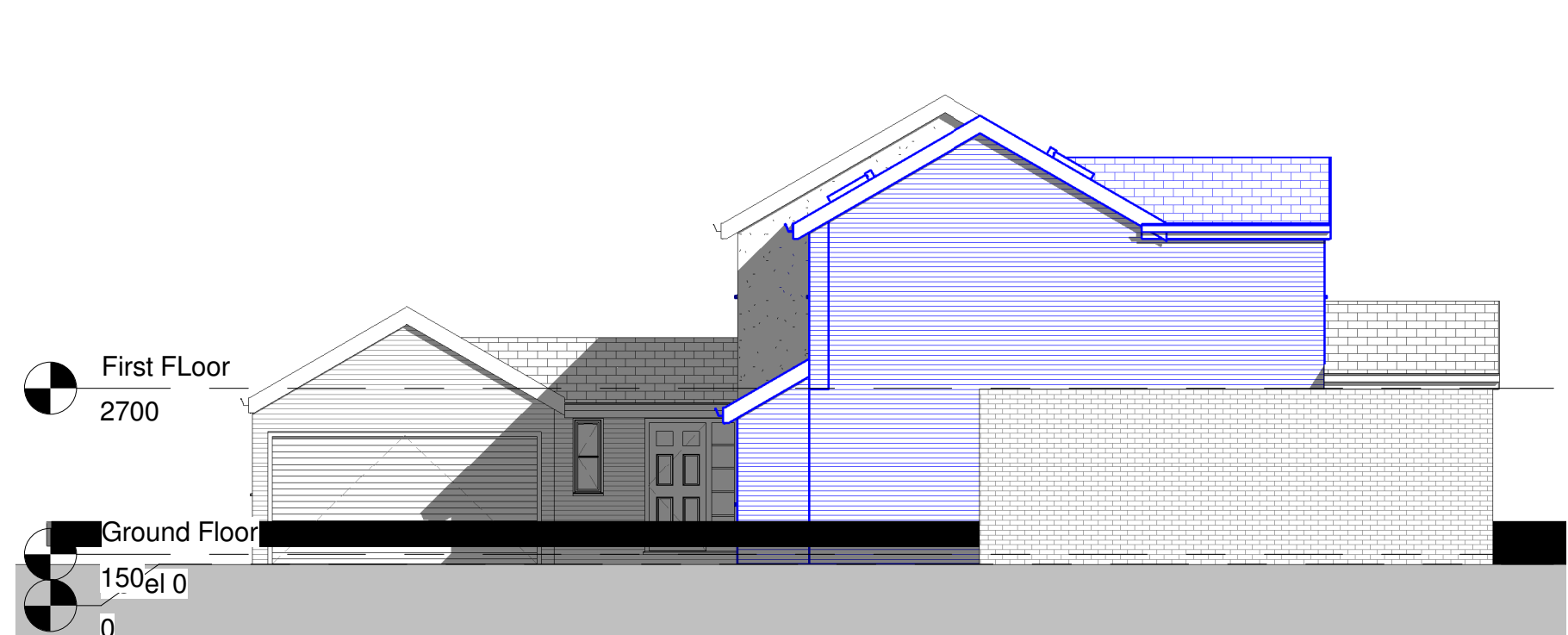
Existing hardstanding consists of red paving blocks layed in a herringbone pattern.

The existing hardstanding will be retained, it will be altered where the proposed extension will sit and raised at the level threshold.

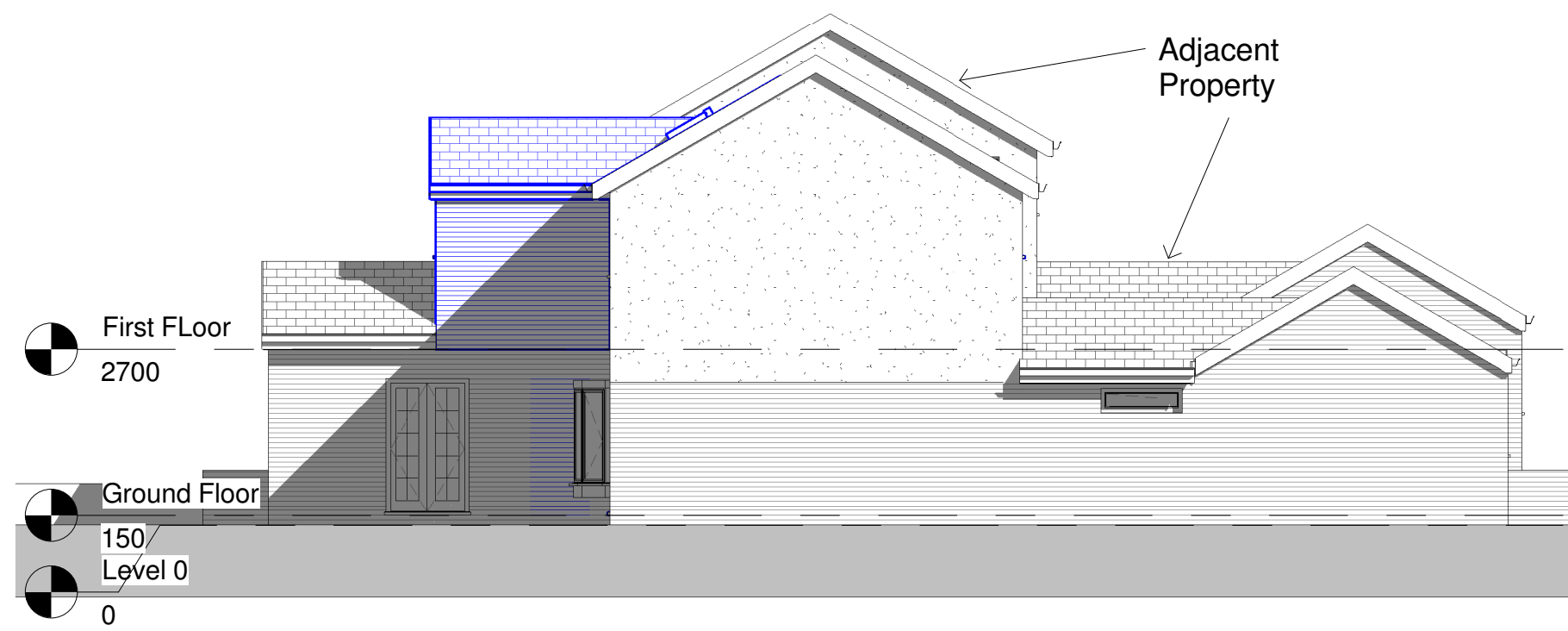
Lighting

Existing external lighting consists of PIR lighting overlooking the garage entrance, the end gable wall to the garage, the end gable wall.

Existing lighting will be retained, there is no proposed lighting within this application.



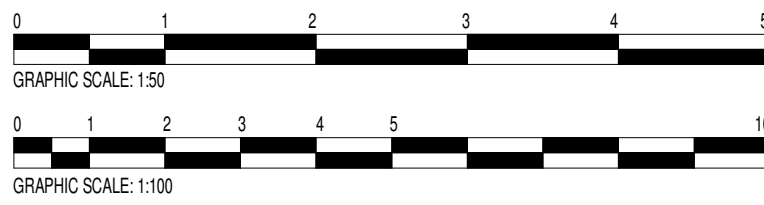
2 Project East As Proposed
1 : 100



4 Project West As Proposed
1 : 100

Copyright: of this drawing is vested in the Architect and it must not be copied or reproduced without consent. **Approval:** This drawing is issued for Planning purposes only. Please note that paper prints of this drawing may not be an accurate reproduction of the given scale. Key dimensions are noted for reference. Unless marked as such drawing should not be used for Construction purposes. Detailed setting out drawings will need to be supplied for Tender and Construction purposes. Figured dimensions only are to be taken from this drawing. All Dimensions and Levels are to be checked on site, prior to commencement. All contractors are to be responsible for taking and checking all dimensions relative to their work. Dimensions are in millimetres unless otherwise stated. bpArchitecture are to be advised of any variation between drawings and site conditions. This drawings is to be read in conjunction with all other consultant's drawings, specifications and schedules. IF IN DOUBT ASK

Rev.	Drawn	Comments	Date
A	DD	Alterations to first floor plan to full footprint of existing ground floor extension, alterations to layout to fit.	October 2017
B	DD	Alterations made following liaison between planning officer and client pulling footprint of first floor plan to half of the footprint of the existing ground floor extension, alterations to layout to fit. Neighbours Property added to view.	January 2018



Approval: This drawing has been prepared solely for the purposes of obtaining either Planning Consent or Building Regulation Approval. Do not use this drawing for Construction purposes unless marked 'For Construction'; it may be necessary to augment/amend the drawing for this purpose.

CDM: Work must not start on site before a Construction Phase Health and Safety Plan is in place (if applicable). Client is responsible for ensuring that a Principal Designer and/or Principal Contractor has been appointed and the Health and Safety executive have been notified (for projects which will involve more than 500 person days and/or will last more than 30 working days on site).

All new proposals are shown in blue

bp Architecture
01782 515 555
Enquiries@bpArchitecture.co.uk
www.bparchitecture.co.uk
93 High Street Biddulph Staffs ST8 6AB
Architects : Interior Architecture : Conservation : Landscape

Client: Mr Harper
Project: Alterations and Extension to 1 The Avenue, Stanley Moor, Stoke on Trent, ST9 9LW
Title: Elevations As Proposed
Status: RIBA Stage 3: Planning
Date: 10/10/17 Drawn: DD
Scale: @A1 As indicated Checked: BSP
Project No: 17-072 Drawing No: AS(0)06 Rev: B

RIBA Stage 3: Planning