



The Contractor is to check and verify in conjunction with the Architects details of setting out points, building and site dimensions, levels and sewer invert levels at connector points and ensure that they are fully compliant with the contents and requirements of the site investigation report before work starts. The Contractor is to comply in all respects with current building legislation, British Standard Specifications, Building Regulations etc. whether or not specifically stated on this drawing.

The drawing is not intended to show details of ground conditions or ground contaminants. Each area of ground relied upon to support any structure depicted (including drainage) must be investigated by the Contractor any areas of formation for wall structures which do not accord with the anticipated conditions as described in this site investigation report are to be immediately notified to the Engineer, where appropriate. Any areas that ground conditions are shown to be inadequate for the proposed structure must be investigated further by a suitable geotechnical expert. Where necessary, the drawing is to be amended to reflect the results of the investigation. All areas to be passed over as to ensure that there is a minimum of 5 metres from buildings and 3 metres from drainage and services, where applicable. A foundation is to be provided to accommodate the proposed footings, where applicable.

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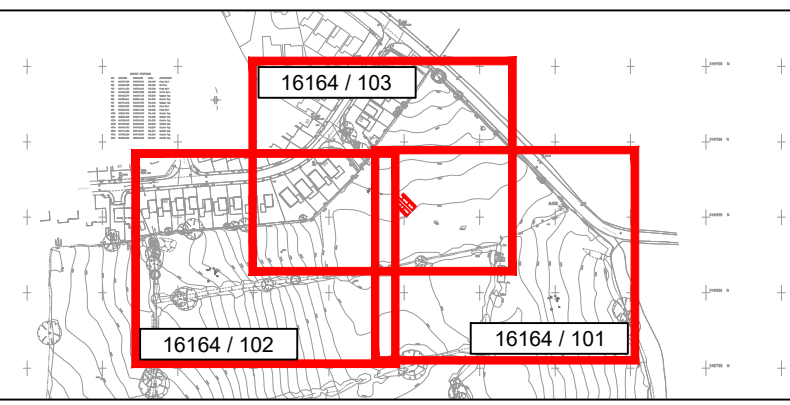
GENERAL NOTES

- The drawing is to be read in conjunction with relevant architectural and engineering drawings.
- Levels indicated in blocks are Finished Floor levels and are 150mm above adjacent finished ground levels unless otherwise shown.
- Levels of the existing road at the point of sale with proposed site road must be checked prior to commencement of works.
- Any discrepancies between the details shown and actual on site conditions to be reported immediately to the engineer prior to commencement of works.

EXTERNAL WORKS & FEATURES NOTES

- All new garden gradients are approximate and may vary due to site conditions.
- All retaining structures to be designed by a structural engineer.
- Type of retaining structure to be determined by the client.
- Details of retaining structure are shown in the drawing. Retaining structures below DPC, below and above DPC are shown as indicative only and may vary due to site conditions.
- Retained heights shown are indicative and may vary along the length of feature.

SHEET LAYOUT SCALE = 1:500



External Levels & Features Legend:	
Levels	External Works
(101.20) Proposed Finished Floor Level	Proposed Double Damp Proof Coursing
(100.80) Proposed Garage Level	Proposed Exposed Brickwork (millimetres below damp proof course)
(80.00) Proposed Shed Level	Proposed Tanking (millimetres above damp proof course)
(80.00) Proposed Rear of Footway Level	Proposed Masonry Retaining Wall
(80.00) Proposed External Level	Proposed Gravel Board
(80.00) Existing External Level	Proposed Flag on Edge
(1/20) Proposed Fall Direction & Gradient	Proposed Bank / Slope • min. gradient = 1 in 10 • max. gradient = 1 in 3
Proposed Flat Gradient (up to 1 in 100)	Proposed Steps
Level Threshold Demarcation • 900mm x 1200mm - Part M Category 1 • 1200mm x 1200mm - Part M Category 2 • 1500mm x 1500mm - Part M Category 3 Minimum Threshold Area	Drainage
General	
Site Boundary	Proposed S38 Road Gully (subject to the relevant Highway Authorities Approval)

Rev.	Description	Date	By
B	External levels & FFL's amended to suit revised BM3 layout.	26.01.18	LH
A	External levels & FFL's amended to suit revised BM3 layout.	07.12.17	LJ
1	First Issue	23.10.17	TB

Drawing Status: **PRELIMINARY**

Please note while these drawings may be used for tender purposes, drawings are subject to Client approval as part of ongoing consultations and design checks. Amendments may therefore be requested.

Client: **Keepmoat**

Project: **Ashbourne Road, Cheadle Stoke-on-Trent**

Title: **External Levels & Features Layout**
Sheet 2 of 3

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Date: October 2017	Checked: DA
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