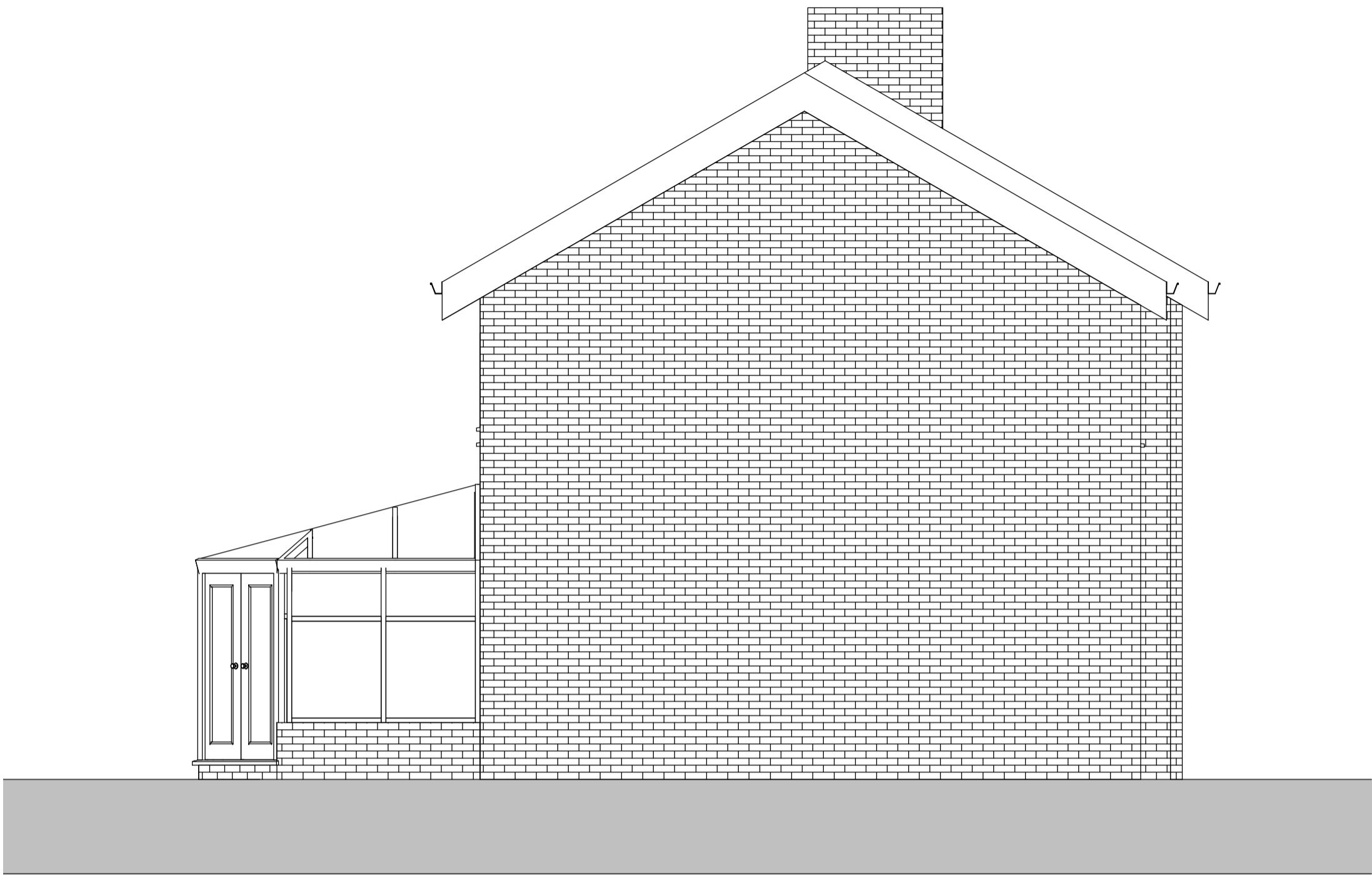


**West as Proposed**  
1 : 50



**North as Proposed**  
1 : 50

**Materials**

**Walls:**  
Existing brick buff coloured at ground floor front elevation with buff coloured pier, brown coloured pier and clad to first floor front elevations and matching brown brick to rear and side elevations.

Buff and brown coloured brick to match existing.

**Roof:**  
The existing roof is finished with dark grey concrete tiles with overhanging white plastic uPVC fascias and soffits.

Matching Concrete tiles to be used for the extension. Eaves level matchinmg current roof line.  
All new roofs will be installed to current part L requirments, none of the existing construction complies with part L.

**Windows:**  
Existing windows are all white uPVC.

Proposed windows will be white uPVC. All new windows will be fitted to current u values. (it is likely that these will far exceed standards - current market windows are achieving min 1.2 and often 0.4 w/m2oC).

**Doors:**  
Existing external doors consist of white UPVc front door and side door with rear glazed patio doors.

The existing side UPVc door will be replaced with a window. The rear patio doors will be retained. A white uPVC patio door will be added to give access from new extended kitchen to the garden area.

**Rainwater Goods:**  
Existing rainwater goods consist of black square uPVC rainwater downpipes and square profiled gutters.

Proposed black UPVC gutters and downpipes, white fasias and soffits - to match existing.

**Lighting:**  
Existing external lighting consists of PIR lighting overlooking the rear garden.

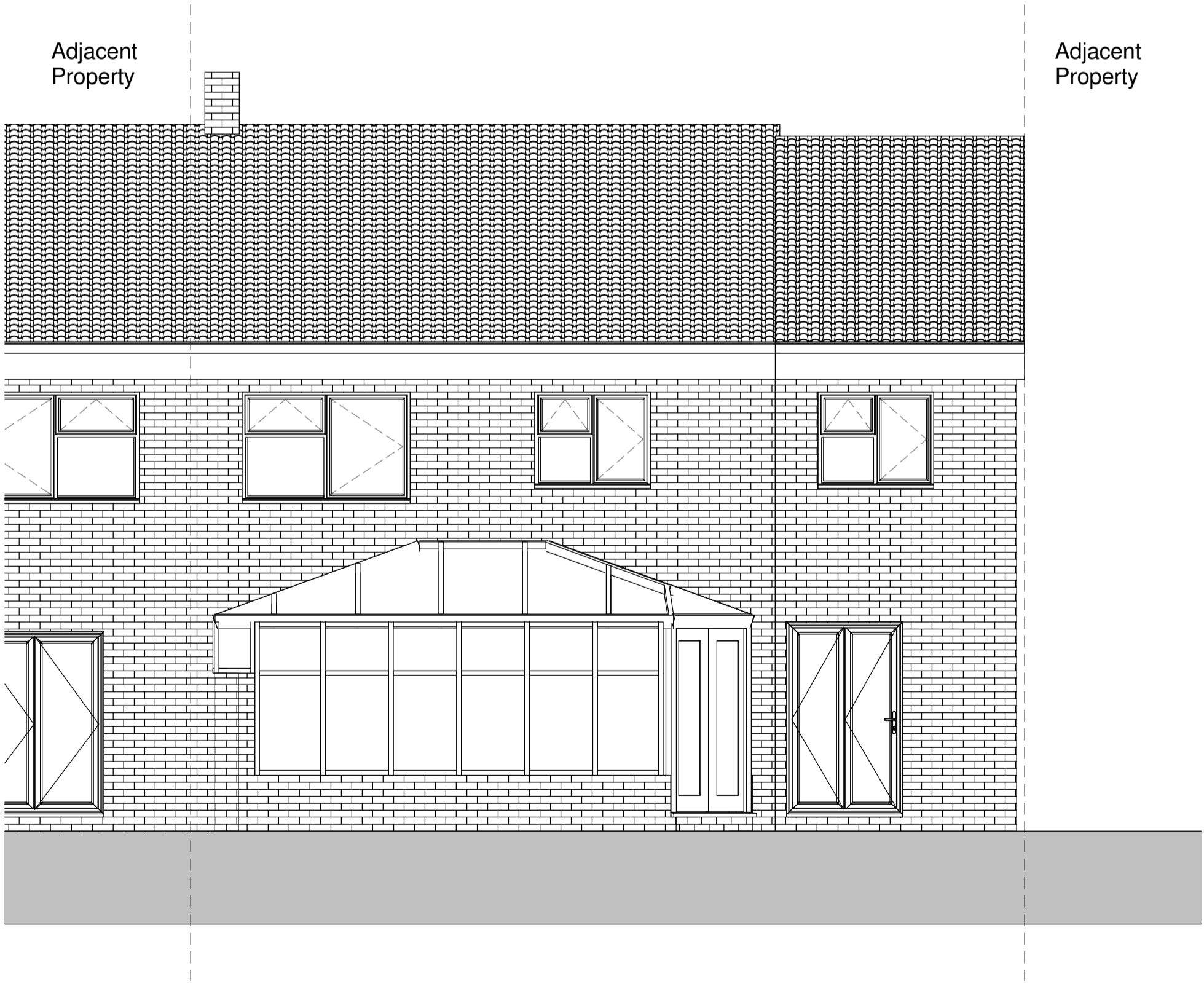
Existing lighting will be retained, there is no proposed lighting within this application.

**Vehicle Access and Hard Standing:**  
Existing hard standing consists of red paving blocks and graveled front.

The existing hard standing will be retained, it will be altered where the proposed extension will sit.

**Boundary Treatments:**  
1.8m High Fencing to the Rear. 1.5m High Fencing to adjacent properties to each side.

The existing Boundary treatments will be retained.



**East as Proposed**  
1 : 50

**Approval:** This drawing has been prepared solely for the purposes of obtaining either Planning Consent or Building Regulation Approval.  
Do not use this drawing for Construction purposes unless marked 'For Construction'; it may be necessary to augment/amend the drawing for this purpose.  
**CDM:** Work must not start on site before a Construction Phase Health and Safety Plan is in place (if applicable). Client is responsible for ensuring that a Principal Designer and/or Principal Contractor has been appointed and the Health and Safety executive have been notified (for projects which will involve more than 500 person days and/or will last more than 30 working days on site).

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Client	Ms Dale		
Project	Alterations and Extension to 37 Portland Drive, Biddulph, ST8 6RY		
Title	Proposed Elevations		
Status	RIBA Stage 3: Planning		
Date	January 2018	Drawn	DD
Scale @A1	1 : 50	Checked	BSP
Project No	17-092	Drawing No.	AS(0)06
Rev			

RIBA Stage 3: Planning