

## Design and Access Statement For 10 Stockwell Street, Leek, ST13 6DS



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## Introduction

This design and access statement accompanies a full planning and listed building consent application for the alteration and extension of 10 Stockwell Street. The application site is in the market town of Leek, Staffordshire.





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### Policy and UDP

NPPF Policy 12 –Conserving and enhancing the historic environment, paragraphs 126-141

Housing Policy SO4 – To provide new housing that is affordable, desirable, well designed and meets the needs of residents of the Moorlands.

Design and Conservation Policy SO8 – To promote local distinctiveness by means of good design and the conservation, protection and enhancement of the historic assets.

Design and Conservation Policy DC1 – Development should be well designed and promote local distinctiveness

Design and Conservation Policy DC2 – To safeguard and enhance where possible, the historic environment.

The site is adjacent to a Town Centre Improvement Area.



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### Historic Significance

Several buildings within Leek are of Historic interest with 10 Stockwell Street being Grade II listed.

From Historic England's List Entry:

SJ9856NW STOCKWELL STREET 611-1/4/129 (South side) 13/04/51 No.10  
GV II

House, now used as offices. Late C18. Brick with plain-tiled roof. EXTERIOR: 3 storeys, 3-window range with central entrance and short rear wing to left. 6-panelled door in architrave with pediment carried on scrolled brackets. Paired 12-pane sash windows flank the doorway on each floor, with single 12-pane sash window over doorway. All have flat-arched brick heads with painted stone keys and continuous cill band to first floor. Heavy moulded stone eaves cornice and parapet. Stone coped gables with end wall stacks. Lead rainwater goods, with feather-cast leadwork to rainwater head. INTERIOR: not inspected. This building was omitted from the 4th list (07/07/72) and reinstated on 8/5/74.

Other notable listed buildings in the immediate area are:

16 & 18 Stockwell Street

The Red Lion Hotel

1 & 3 Stockwell Street

Market Cross

The lamp standard in the centre of Market Place

The Nicholson Institute



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### Use

The property within this proposal is currently empty, having previously been occupied as a beauty college. The building was originally a rather grand town house built in the late 18<sup>th</sup> century but has subsequently been used as offices (B1) and non-residential training and education services (D1).

Although the property has been on the market to let as offices/for commercial use, there has been little viable interest. It is therefore the owner's desire to convert the building into 5 no. self contained 1 bedroom apartments, all accessed from a central circulation core.

It is believed that converting the building back to its original residential use would be beneficial to the local area and would provide affordable housing in the town centre. The lack of substantial garden space (a small raised garden is to the rear) means that a single family home of this size and in this location would not be an ideal or commercially viable proposal. The property adjacent to 10 Stockwell Street currently houses 6 no. apartments and has been successful in providing town centre accommodation. There is a need for small-scale apartments in the area and therefore this conversion would fulfil this requirement and is not out of place on Stockwell Street.





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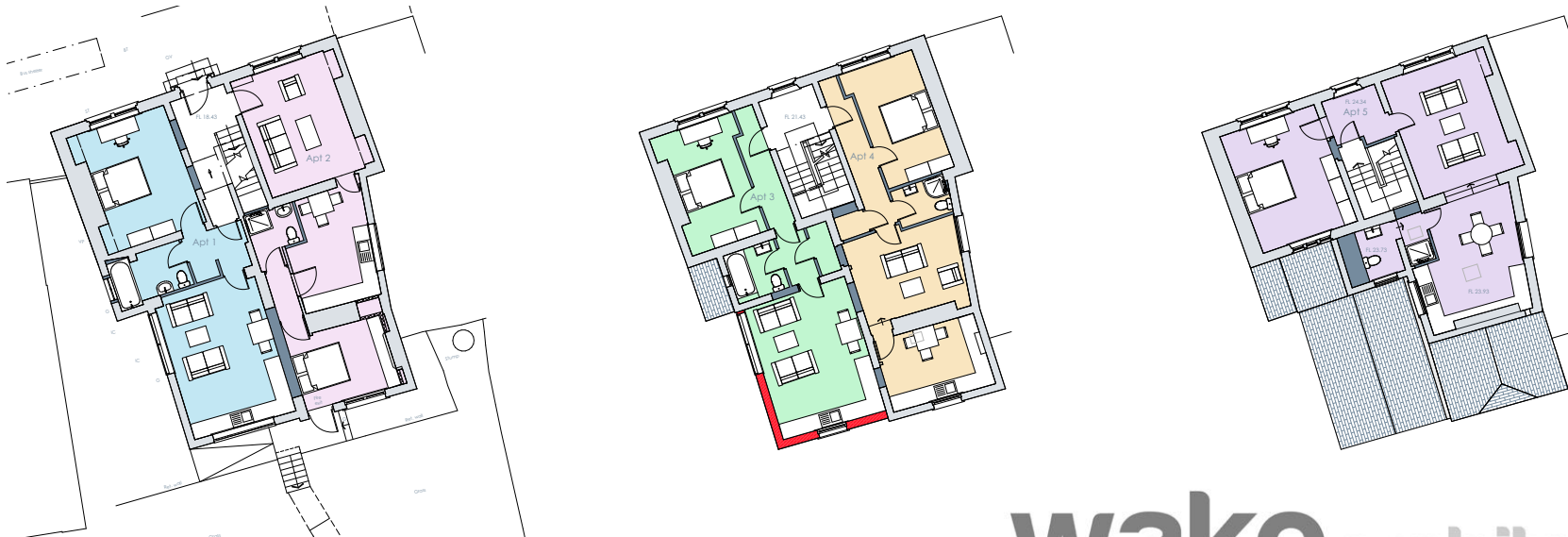
## Amount and Layout

The proposals are for the conversion of the current building, using much of the original wall positioning and general layout to create 5 no. Apartments. All of the apartments have a double bedroom, living/kitchen /dining areas and a separate bathroom.

The apartments are all similar in size but range from 47 m<sup>2</sup> to 62 m<sup>2</sup> dependant on the existing floor plans. The cellular nature of the original floor layout means that the whole building splits comfortably into 5 apartments spread over the three floors, without having to rearrange spaces significantly and therefore not harming the special character of the building, especially on the exterior.

In order to adequately gain two apartments on the first floor, it is proposed that a small-scale extension is built over the current flat roof GF extension. The proposed extension will pick up the footprint of the ground floor extension with windows positioned and sized to reflect existing openings. The overall floor area of the extension is 23 m<sup>2</sup>.

By working with the existing structure, there has been no need to create additional openings in the exterior of the listed building, and other than the proposed rear extension, no exterior changes are proposed, safeguarding the character of the property.



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## Scale and Appearance

The listed building is in relatively good order with no sign of structural damage and therefore the proposals seek to work to utilise and enhance the existing built form. The front of the building will be left untouched and therefore from a street perspective, the character of the building will be retained.

The scale of the first floor rear extension is such that it is sympathetic to the original built form and the later additions and will not detract from the listed building but rather will enhance the rear appearance. The current flat roof is incongruous to the main building and therefore adding the pitched roof extension will help to harmonise the rear elevation.

The roof pitch follows that of the part of the building, which it sits against and the roof will follow through seamlessly. A double pitch with valley gutter is created by the new extension.

The windows reflect existing fenestration size, shape and design to the rear so that they will fit with the existing architectural appearance, whilst providing necessary light and ventilation to Apartment 3.

The material palette is taken directly from the extant built form with red brick walls to match the existing and a plain slate roof which will key into the existing roof as depicted on the proposed elevations.



Front Elevation - North



Side Elevation - East



Rear Elevation - South



Side Elevation - West

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### **Landscape and Access**

Although there is very little opportunity for landscaping to the development site, the small garden to the rear will be tidied and rationalised for use by residents as a communal outdoor area.

Working with the constraints of the existing listed building, there is limited scope for DDA compliance to the building.

There is an area for bin storage to the rear and collection will be from the roadside.

There is pedestrian access to the front of the building off Stockwell Street and a side gate allows access around the building. In addition a gate to the rear is off the public car park.

A bus stop is directly outside the building and car parking is situated within close proximity meaning that the apartments will be easily accessible to residents and visitors.