

The Fenns Barns: Art Studio

Design and Access Statement

March 2016



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Design, Access and Planning Statement

in support of

Art Studio refurbishment and Installation of **Car Park**

at

The Fenns barns, Moss Hill Stockton Brook Staffordshire ST9 9NW.

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1.0 Purpose of Statement Introduction

1.1 This Design & Access statement has been prepared to support a Planning Application being made to Staffordshire Moorlands for refurbishment of a Barn adjacent to The Fenns Moss Hill Stockton Brook.

Current Use: Art and Pottery Studio

Proposed Use: Art, Pottery and Sculpture Studios

1.2 The statement provides an analysis and narrative of the proposals and is in accordance with guidance produced by CABE entitled "Design & Access Statements; how to write, read & use them".

The purpose of this statement is to inform and support the proposals within the application, and explain the proposals to Planning Officers, Consultees and Members of the Public.

1.3 The statement presents the following information:-

- Site Location and Analysis
- History and Character of the Site
- An explanation of the Design Principles and Design Development
- Analysis of Relevant Planning policy

2.0 Site and Context

2.1 Introduction

Location:

2.2 The application site is located on Moss Hill, accessed off Leek Road Stockton Brook, lying between Endon and Baddeley Green. The Site can also be approached from Brown Edge and Norton via Willfield Lane and Edgefield Lane which provide one way access in the direction of Brown Edge.

2.3 The site is approximately 1.8 miles from Endon, 7 miles from Leek via the A53, 5.5 miles from Hanley via the A53, 6.5 miles from Stoke via the A52 and 7 miles from Newcastle under Lyme via the A53.

The unitary boundary separating Stoke on Trent from Staffordshire Moorlands runs along the Caldon Canal to the south.

2.4 Site Characteristics:

2.5	The Development boundary to this site is	1,269	m ²	Shown edged red
	Our Clients also own 3 further parcels of land			
	Land to the North of the Canal	42,636	m ²	Shown edged blue
	Land between the canal and railway line	7,060	m ²	Shown edged blue
	Land between the Railway and Leek Road	18,330	m ²	Shown edged blue
	Total client land ownership	68,026	m ²	

The site Location plan AS(0)01 is printed at 1:2500 to show all the Client's land ownership.

2.6 The overall site owned by our Clients consists of The Fenn's dwelling and a number of surrounding

outbuildings of which the Barn used as the Art Studio is one, the land also contains Stockton Brook Waterworks.

- 2.7 The barn sits to the North of the house on Moss Hill fronting onto the junction of Edgefield and Willfield lanes, and is currently accessed by a long driveway serving the Fenns, accessed from Moss Hill between the Brindles and Westerham dwellings

Site History

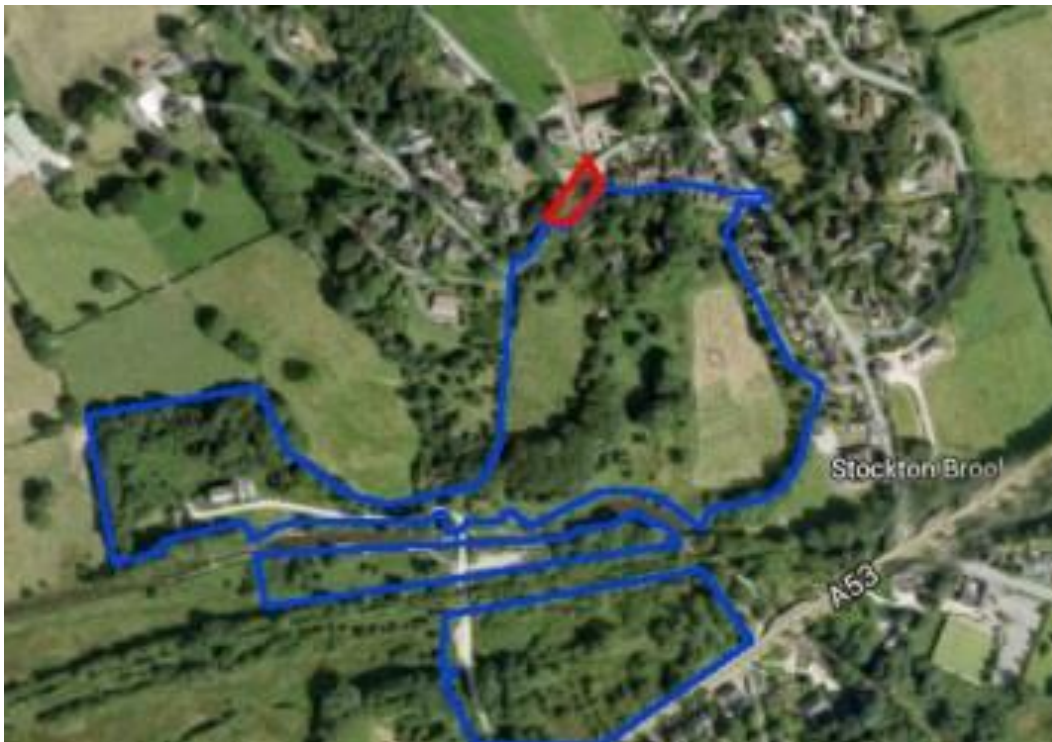
- 2.8 There are no previous planning applications on the site.

The barns have been used as an Art Studio by our clients parents privately since the early 1960's and underwent some improvements and alterations during the 1960's when some of the dilapidated lintols were replaced with concrete ones, as well as internal alterations to provide the Art Studio space, including a large kiln.

Character of the Surrounding Area:

- 2.9 The site lies in a semi rural location set within Green Belt

2.10



Aerial view of land ownership

- 2.11 The area surrounding the application site is a rural residential area consisting of residential dwellings and some farmsteads on both sides of Edgefield Lane, Willfield Lane, Moss Hill and Heather Hills which traverse around Moss Hill itself.

Many of the properties on Moss Hill and Edgefield Lane and Willfield Lane are 4 bedroom and larger two and three storey residential properties and largely detached. Properties are constructed in a mixture of brick, render and stone and a mix of traditional appearance with vernacular and casement style windows in timber and UPVC.

There are a number of dwellings that have been refurbished over time and updated to rendered appearance with contemporary fenestration, but in keeping with the character of the area.

Properties on Heather hills constructed in the 1980's are all large contemporary dwellings, (for that time) with large amounts of fenestration, built out of the rock faces.

- 2.12 To the south East boundary of our Clients ownership on the Corner of Moss Hill is Stockton Brook Scout and Guide headquarters, our clients loan one of their fields to SBSG Association annually to run a bonfire and firework display, which is attended by 2,000+ each year.
- 2.13 To the west within our Clients ownership is Stockton Brook Waterworks a former water pumping station with historic status.
- 2.14 The Fenns itself is run as a small holding and our clients are also members of the Higher level Stewardship scheme.



Images of the barn above.

- 2.15 **Access, Movement and Local Facilities**
- 2.16 The site would predominantly be accessed via car from surrounding towns and motorway connections. The site is 6 miles and 20 minute drive from Stoke Railway station, which provides access to the wider rail network. Stoke provides an hourly rail service to Manchester and London.
- 2.17 The site can be accessed by both Taxi and Bus route from Stoke station, Stoke, Hanley and Leek, there is a bus stop on Leek Road at the bottom of Moss Hill (300 metres walk) .
- 2.18 The site also has good access to the A500 (17 mins) and the M6 motorway junctions 15 (28 mins) and 16 (27 or 32 mins) beyond.
- 2.19 Baddeley Green, Sneyd Green and Endon all within 2 miles offer local amenities including supermarkets and shops. There are also a number of restaurants and Public Houses in Stockton

Brook, Baddeley Green and Endon that provide opportunities to socialise and meet outside the venue.

- 2.20 Local Primary and Secondary Schools can be found in Endon, Baddeley Green and Sneyd Green that could participate in art, pottery and sculpture classes. Our Clients currently have links with local schools and have run courses on the stewardship scheme on environmental and ecology issues.
- 2.21 Our Clients would also offer courses to the wider Art community in and around Staffordshire and beyond.
- 2.22 The nature and topography of the local area surrounding the barn offers opportunities for external scenes to be captured and for external art classes in the open air, capturing some of the local scenery.

3.0 Design Principles and Objectives

3.1 Use

- 3.2 The scheme proposes the refurbishment of an existing barn. Our client's parents both Artists used the Building as an Art Studio dating back to the 1960's. The building is structurally sound but in need of upgrading to current regulation standards. Windows, doors, guttering and downpipes are all in a state of disrepair.

- 3.3 The existing kiln is to be removed and a new kiln installed in the end room, with this room linked to the adjacent existing pottery studio.

The central area is to be altered to add an additional toilet and adjust the kitchenette area to improve facilities to current regulation standards and provide an area for social congregation.

The three former carriage stores are to be converted and interlinked to provide a new sculpture studio.

Existing staircases are to be replaced with two new staircases to provide access to the upper floor to meet current regulation compliance standards.

Rooms on the upper floor are to be used as a Pattern room linked to the pottery studio below, benefitting from natural daylight provided by three large bullseye windows and enlarged rooflights in the roof above.

An Art studio benefitting from the views out of three large bullseye windows and enlarged rooflights in the roof above can be accessed from a staircase over the sculpture studio .

The centre area at first floor is to be retained as a smaller office for our clients.

3.4 Amount

- 3.5 The proposal does not extend, but alters the existing fabric, and improves the existing accommodation and facilities, bringing the fabric of the building up to current regulation and thermal standards.

Gross internal area at ground floor 121m², First floor 122 m², Total Gross internal 243m²

- 3.6 There will technically be a slight loss the above gross internal areas with the proposals as it is intended to line the internal walls with a breathable insulation and timber fibre lining board. This will provide a breathable internal lining capable of being decorated to provide a clean internal wall finish whilst still allowing the existing stone walls to breath.

The proposed lining brings the walls up to current Part L standards and reduces overall running costs, providing a sustainable solution to thermal upgrading.

- 3.7 The proposal also includes for the installation of some inline solar pv panels on the south facing roof (facing away

from the road) to allow the building to be as near electricity sustainable as possible.

Layout

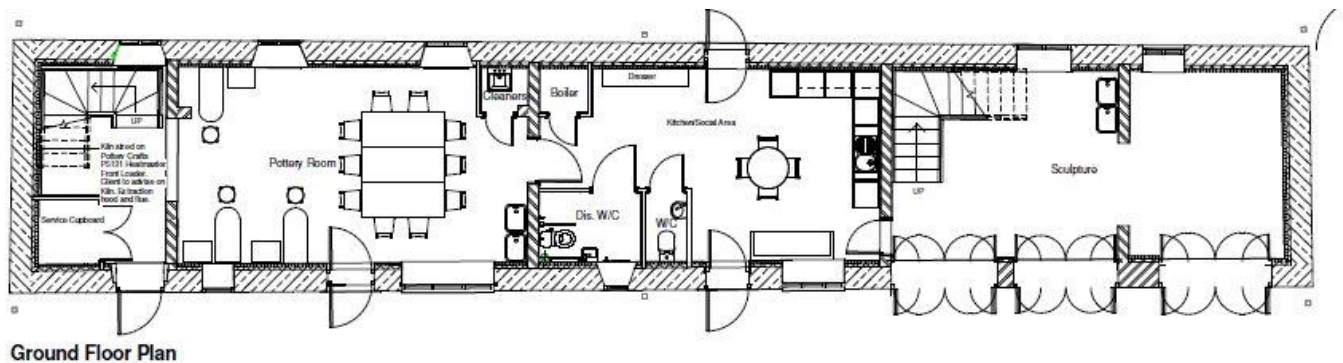
3.8 Accommodation provided

Ground floor:

Pottery and Kiln room

Kitchen, toilet and social area – all services are centrally located connected to existing points

Sculpture studio



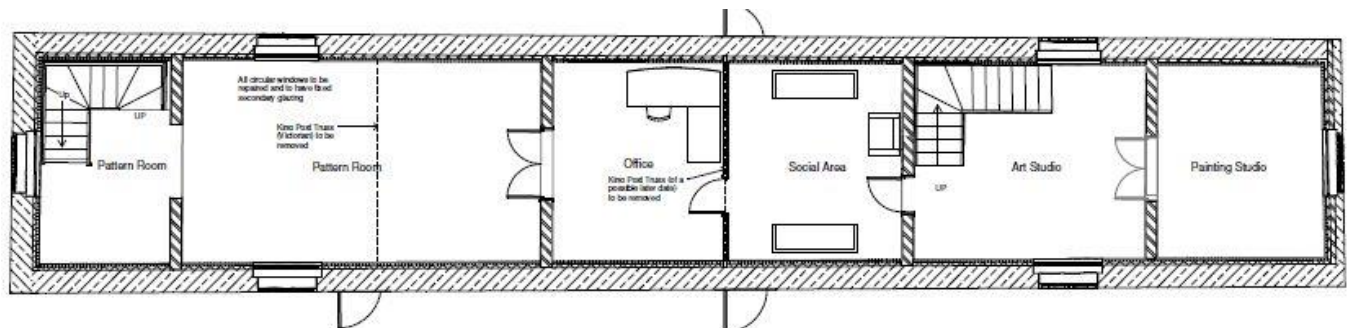
3.9 First Floor:

Pattern room

Office

Social area

Art and Painting Studio



3.10 Scale

3.11 The existing building is a double storey dual pitched traditional gable ended barn structure with two dual pitched roofing elements set to gable. The six gables all contain large bullseye window features.

The scale and proportions of barn relate to many traditional stone barns in the Staffordshire area.

3.12 Appearance

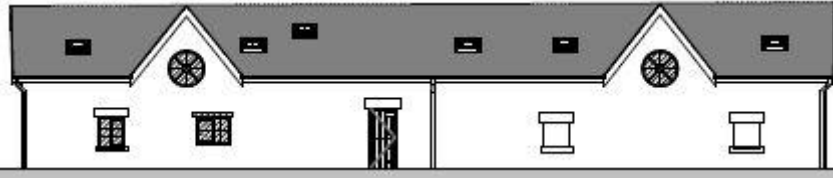
3.13 The existing barn is of traditional appearance with walls constructed in millstone grit. Many of the openings feature the original large format stone lintols and cills. Some of these have been replaced with concrete in the 1960's.

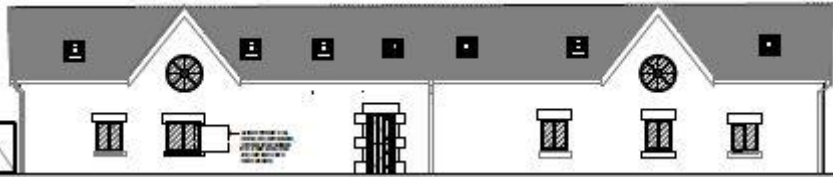
Alterations were carried out to the carriage stores in the 1960's and a large concrete encased beam installed to span these doors and support the roof. The Client has copies of the original Architects plans for these alterations. With the exception of a crack in one of the gables the walls are in sound structural condition.

3.14 The roofs consist of traditional clay tiles with Georgian wired single glazed rooflights providing daylight to the upper floor plan. The rooflights are cracked and broken and covered in lichen and moss.

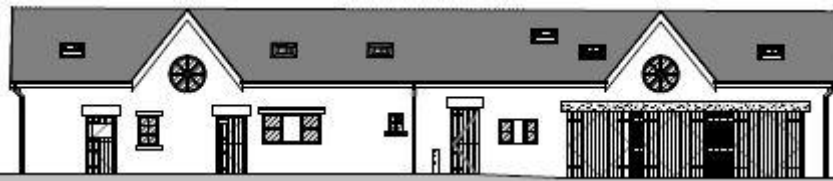
3.15 The east and west elevations are to remain unaltered with the exception of repair to a crack. Both gables feature a large bullseye window which is to be retained but overhauled and repaired . It is intended to provide fixed secondary glazing to this internally.

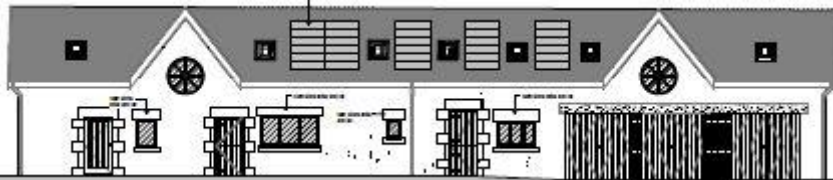


3.16  As existing
North East (rear) elevation facing the road

 As proposed

3.17 Where existing windows have been fitted with concrete lintols these are to be repalced with stone to match the exisitng in size and proportion. The centre doorway on the rear north elevation will be used as the main entrance from the parking area when courses are being run.

3.18  As Existing
South (front) elevation facing the Fenns

 As proposed

3.19 Lintols and Cills:

The original Lintols and Cills to Windows and Door Heads are Large format stone dressings. A number of openings have been altered , and replacement concrete lintols used, we assume that these works were carried out in the 1960's alterations. It is our Clients intentions to remove the concrete lintols to the external façade and replace these with dressed stone to match the size and proportions of the original stone dressings.

3.20



3.21



3.22 **Windows** : The barn features a number of windows of differening styles and periods, the original window style would have been the casments with vertical emphasis to the timber frames which feature in image 1 and 3 , and 6 although the middle panel has been lost.

Later larger windows feature frames with similar sized mullions and transoms and top hung opening lights, which are also characterised by the addition of concrete lintols. One crittal style steel window exists and would have been a new window or replacment for a damaged original timber window, added at a later date.

It is proposed to replace the existing windows or rework them if the Joiner considers this economically viable, to provide double glazed timber windows matcing the predominant casement style, to regulrise the appearance of the windows; providing opening casement lights to the majority of the rooms to provide good natural ventilation and improve the thermal performance to meet current regulation compliance for part L.

3.23 It is believed that the gabled cross roofs were installed in later alterations to the barn potentially in the 1960's alterations and these feature 6 large circular bullseye windows to the upper floor, with stone reveals externally and a square recessed reveal internally.

It is propsoed to refurbish these windows, repairing broken glass and damaged frmaes; and then install a secondary glazed square window frame internally, this would be fitted with fixed lights, as there will be sufficient cross ventilation to the roof provided by opening rooflights.

- 3.24 **Rooflights:** The existing rooflights which are in a poor state of repair and feature single glazed georgian wired glass.

These are to be replaced with double glazed conservation rooflights slightly larger than the existing to let a good standard of natural daylight into the upper floor which is to be used as a pottery pattern application room and a painting studio.

3.25



- 3.26 **Doors:** The barn features a number of styles of external door, the majority of the external doors, also feature an inner glazed door. The outer doors are timber panelled ledged and braced stable doors.

The external doors providing access to the rear, the kiln room and the Social room are to be fitted with fasteners to allow them to be pinned back when in use.

The doors are to be retained where in a good state of repair, or replaced with doors of a similar appearance subject to Joiners inspection and report on condition and cost to repair.

3.27



- 3.28 **Landscape**

- 3.29 The barn is surrounded by natural landscape and woodland setting around the house and boundaries to adjacent agricultural land.

Our Clients operate on the Higher Level Stewardship Scheme and regularly invite public bodies who are monitoring Wildlife, Local School groups for Educational courses and also interact with the Local Scout and Guide group occupying an adjacent site.

It is our Clients intention to extend courses to include Art, Pottery and Sculpture both to educational establishments in the area and Art Courses to the wider world. The surrounding landscape offers an enjoyable and sustainable setting from which to capture landscape and views as part of an Art Course, piece of pottery or sculpture.

It is intended that the upgraded windows and rooflights will allow good quality natural daylight into the building as well as views out to the surrounding landscape.

4.0 Access Statement

4.1 Vehicular Access and Parking:

Vehicular Access to the site for the majority of users is intended to be from Moss Hill, when traveling from the direction of Stoke and Leek, and from Willfield lane when travelling via Norton Green and Brown Edge.

4.2 Vehicular Access for disabled visitors will be from Moss Hill using the driveway leading to the Fenns which provides access to a disabled parking space to be marked out immediately adjacent to the gable end to the barn in an existing parking area.

4.3 A new site access has been formed from Moss Hill at the junction with Willfield Lane and Edgefield Lane, this is located immediately opposite the point where the route changes from one way to two way, and will provide visitors leaving the opportunity to turn right down moss hill, or left up Edgefield lane.

Our Client has already rebuilt the wall to the boundary of the site in dry stone walling with cemented stone top using stones which had fallen from the original boundary wall to the site.

Retrospective approval is sought for the site access. Whilst the opening in the external wall has been formed, this is coned off and not currently in use.

4.4 Our Clients wish to form a new car park to provide car parking for ten parking spaces for visitors to the Studio which is shown on drawing AS(0)10 , the disabled space shown at the lower level is to be marked out in space already used for visitors parking.

4.5 The area to be used for parking is at a higher level than the Barn, an existing access path runs along the North East side of the barn at the lower level, and the earth then bunds upward to the raised area.

A new retaining wall will be constructed along this line to retain the earth beneath the proposed car parking area. HB2 kerbs will be installed to form the confines of the car parking area, and an Ecogrid covering will be installed filled with sharp annular stone to form a sustainable surface finish to the parking area, and allow natural drainage.

4.6 When approaching from the road, the barn initially appears to be single storey because of levels on site. No trees will be affected by formation of the car park.



4.7 Pedestrian Movement:

Users will arrive at the site by vehicle or on foot.

4.8 Pedestrian access from the car parking area will be via a set of steps to be formed between the car park level and the area outside the existing barn. The steps are to be formed around a central dry stone spine wall and feature pavings with contrasting leading edge (perfecta or similar) using a 150mm rise step and long going to form a gradual step down to the lower level suitable for ambulant disabled access. Handrails will be provided to either side of the stepped access to assist ambulant users, and to meet the requirements of Part M.

4.9 The existing pedestrian access route to the North West of the barn will be paved in flagstones to provide a level access route for wheelchair and ambulant users into the central doorway.

4.10 The existing area to the front of the barn will have earth which has built up against the barn over the years dug out and a new flag paved access laid to provide access and egress from the two doors on this side of the barn. This will also form the main access route used by our Clients and visitors arriving on site by foot.

4.11 Visitors arriving on site by foot, would normally be walking up Moss Hill from Leek Road where bus stops exist on both sides of the road, as well as two public houses/restaurants which provide social function links.

4.12 Our Clients also intend to form links and offer courses with local schools, they are already providing external ecology outdoor activities to local school children as part of their Higher level Stewardship scheme on other parts of the land they own.

4.13 When arriving on foot visitors would be directed to use the driveway which starts half way down Moss Hill signposted The Fenns, which also provides access to the house.

4.14 Transport Links

4.15 Regular busses run along Leek Road between Hanley, Endon, Stoke and Leek providing access to local towns and the railway network beyond. Busses stop on both sides of Leek Road at Stockton Brook cross roads. This will allow users traveling by public transport to walk up the hill to the studio.

4.16 Our Clients also have links with the local Schools and pupils walk to the site from Greenways School and the Endon schools.

4.17 Our Clients also have a good working relationship with Stockton Brook Scout and Guide Association who occupy an adjacent site, they use our Clients field for their Annual bonfire and Firework display, and for activities and camps, they use the woods for Wide Games and outdoor activities, and the Canal to canoe and kayak on. SBSGA will undoubtedly also participate in Art, pottery and Sculpture classes to extend their programme of activities. They would walk up to the studio via Moss Hill

5.0 **Crime Prevention**

- 5.1 Our Clients live in the adjacent house and would be on hand to attend to any intruder alarms.
- 5.2 The studio has three pedestrian access doors two of which have both an outer and inner door which when locked and repaired will make the building more secure. Windows and rooflights will be double glazed again improving security and ability for break ins.
- 5.3 The building will be fitted with lighting beneath roof soffits angled down at no greater than 70 degrees from vertical to provide movement detection controlled lighting to the footpaths to the perimeter of the building, and low level bollard style lighting to the car parking area which will be fitted with a timer so that it is only on at times when the building is being used and to suit daylight /darkness hours of use.

6.0 **Promoting Sustainable Development**

- 6.1 No demolition is to take place. Our Clients wish to retain as much of the original features of the existing building as possible, with repairs and alterations being carried out in so far as required to improve the performance of the building to current regulation standards and to extend the maintenance life beyond its current partially dilapidated state.
- 6.2 Sustainable materials are to be used to improve the thermal performance of the building and allow the existing building to breathe.
- 6.3 An Eco style sustainable car parking surface is to be introduced to provide a suitable surface and as minimal impact on the surrounding character as is possible.

7.0 **Planning Policy Statement**

7.1 **Response to the NPPF**

Clause 28: Planning policies should support economic growth in rural areas in order to create jobs and prosperity by taking a positive approach to sustainable new development. To promote a strong rural economy, local and neighbourhood plans should:

- support the sustainable growth and expansion of all types of business and enterprise in rural areas, both through conversion of existing buildings and well designed new buildings;

promote the development and diversification of agricultural and other land-based rural businesses;

- support sustainable rural tourism and leisure developments that benefit businesses in rural areas, communities and visitors, and which respect the character of the countryside. This should include supporting the provision and expansion of tourist and visitor facilities in appropriate locations where identified needs are not met by existing facilities in rural service centres; and

- promote the retention and development of local services and community facilities in villages, such as local shops, meeting places, sports venues, cultural buildings, public houses and places of worship.

This application supports business enterprise in rural areas and diversification of land based rural business's. The application brings back into use an Art Studio originally formed in the 1960's which has fallen into disrepair following the death of our Client Ms Adams parents.

The improvement works being carried out to the barn will improve the appearance of the street scene and quality of the local environment, as well as providing much needed linkages with local schools and clubs, and will also serve to enhance the tourist and visitor facilities in the Stoke on Trent area centred around the Arts and Pottery, as well as introducing Sculpture.

7.2 **Clause 90:** Certain other forms of development are also not inappropriate in Green Belt provided they preserve the openness of the Green Belt and do not conflict with the purposes of including land in Green Belt. These are:

- mineral extraction;
- engineering operations;
- local transport infrastructure which can demonstrate a requirement for a Green Belt location;
- the re-use of buildings provided that the buildings are of permanent and substantial construction; and
- development brought forward under a Community Right to Build Order.

The Fenns obtained Planning Approval for use of the barns as an Art Studio in the 1960's and was subsequently converted to this use by the owner's parents. The building in recent years has been used for storage by the owners' elderly parents. The current owners are proposing to reuse the building for an artist studio and to provide art workshops for the general public.

The owners are both artists and currently have a Higher Level Stewardship in which they have conducted educational activities for school groups which include activities such as mini beast hunts to promote wild flowers and biodiversity within their grounds. The owners intend to provide more of these activities with the use of the Artist Studios to further enhance the educational experience.

The owners would also like to open up the building to the public for meetings, art, pottery and sculpture courses, and other public use. The proposal of a car park is vital for the workshops and educational visits. It has been designed to sit sensitively within the greenbelt land.

The proposed use supports reuse of existing buildings in the Green Belt, and states that these are not inappropriate providing that they preserve the openness of the Green Belt and the reuse of existing buildings.

7.3 **Staffordshire Moorlands Core Strategy**

SS6b - Smaller Villages Area Strategy

Stockton Brook: This settlement shall provide only for appropriate development which enhances community vitality or meets a local social or economic need of the settlement and its hinterland. The Council and its partners will achieve this through the following actions:

1. Enhance community vitality by: protecting and enabling services and facilities which are essential to sustain rural living; improving connections by public transport and other transport measures to neighbouring larger villages and market towns; supporting the provision of local, mobile and electronic services which increases the range and quality of services.
2. Meet local community, social or economic need by: Enabling new housing development which meets a local need, including affordable housing (in accordance with policy H2); Allowing for rural exceptions housing in appropriate locations on the edge of settlements (in accordance with policy H2). This will be

additional to the housing provision for the rural areas.

Enabling small-scale new employment development including 'live-work' developments which are for a rural enterprise or an existing authorised business use; Supporting the diversification of existing farm enterprises (in accordance with policy)

The proposals support this policy aim, by serving to bring back into use an employment use /rural enterprise use, and diversification of an existing farm use. The use of the building partially serves local community uses and educational uses as well as supporting the local tourism industry and the potteries as a destination for Art and Pottery and Sculpture; which is one of Stoke on Trent City councils target aims for the area.

7.4 R1 Rural Diversity: All development in the rural areas outside the development boundaries of the towns and villages will be assessed according to the extent to which it enhances the character, appearance and biodiversity of the countryside, promotes the sustainable diversification of the rural economy, facilitates economic activity, meets a rural community need and sustains the historic environment.

Appropriate development should not harm the rural character and environmental quality of the area or any sites designated for their nature conservation, or historical interest by virtue of the scale, nature and level of activity involved and the type and amount of traffic generated or by other effects such as noise and pollution.

Wherever possible development should be within suitably located buildings which are appropriate for conversion. Where new or replacement buildings are involved, development should have minimal impact on the countryside and be in close proximity to an existing settlement.

Within the Green Belt, inappropriate development which is otherwise acceptable within the terms of this policy, will still need to be justified by very special circumstances. Priority will be given to the re-use of rural buildings for commercial enterprise, including tourism uses, where the location is sustainable and the proposed use does not harm the building's character and/or the character of its surroundings.

This application supports this policy. Completion of the project will repair and restore a building which is falling into disrepair, and improve the appearance of the local area, and quality of the public realm.

The building has already been converted in the past, part of this application improves the current space offering courses and extends the space into a former carriage store to allow sculpture courses to also be offered from the premises.

Whilst set within Green Belt the site retains and improves an existing rural building, improving its character and appearance in the historic setting. The proposals to introduce car parking to serve the offering of art courses to the wider community is to be done using sustainable materials appropriate to the setting. The boundary wall to the parking area, and the level drop across the area, will conceal parking from the road.

- 7.5 SO7. To support and enhance the tourism, cultural, recreation and leisure opportunities for the District's residents and visitors.

The proposal supports this policy extending the current tourism offering around Stoke on Trent to provide pottery, art and sculpture courses to those visiting the City and Moorlands, as well as recreation and Leisure opportunities for those living in the area. The proposal will also enhance linkages with local educational establishments already formed with our Clients Higher Level Stewardship scheme by extending the offer of Art, pottery and Sculpture classes to local schools.

8.0 Conclusion

- 8.1 The NPPF requires Local Planning authorities to foster delivery of sustainable development, it also states that they should approve development which accords with the Development plan without delay.

The development of the existing building to refurbish and extend existing facilities serves to improve the condition and appearance of the existing building and its historic setting. The addition of a car park has been done sympathetically to its location on the site and will not detract from the setting.

We would conclude that the proposal fully accords with the relevant national and local policies, is sympathetic to the existing building and surroundings and there should be no reason why the Local Authority should not grant planning permission.