

Heritage Statement

in respect of

**1 Overton Hall Barns, Overton Road,
Congleton, CW12 3QW**



This Heritage Statement accompanies an application for Listed Building Consent for the installation of a wood burning stove and flue at the above property.

This Heritage Statement is required by Section 128 of the National Planning Policy Framework.

The property is located on the Staffordshire border at National Grid Reference SJ 89462 61612. The barn is 10 metres to the south of Overton Hall.

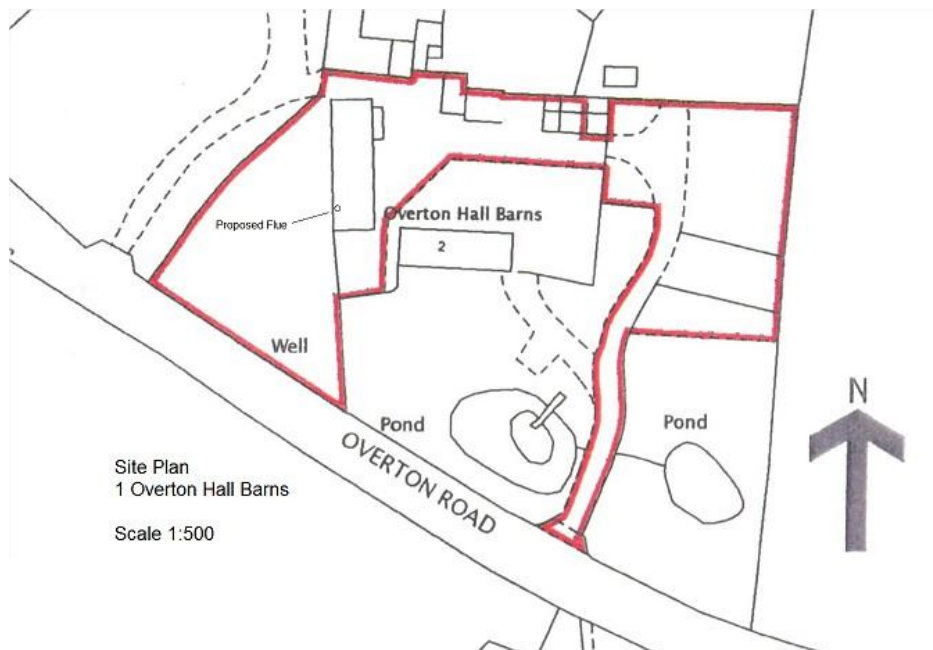


The Grade II listing status describes it as a barn from the early 19th century of coursed sandstone; blue machine tiled roof; verge parapets. Single storey and loft, approximately 20 metres long, west fronted; two square panel windows to right of centre, vent slits to left, central boarded door. Loft door in gable north with three tier dove coat over. It is included for the group value for there is another barn to the east.



The proposal does not involve any demolition, but proposes the insertion to the west elevation lower roof line of a matt black chimney flue and cowl.

The grounds of the barn extend to the road frontage.



The ground to the west of the barn, extending to the public highway, have many trees that provide shading and do not make the buildings especially, the roof, too visible from the road. Please see autumnal aerial photograph below.



The barn was granted planning permission in 2003 for its conversion to a residential dwelling.

You will see from the photographs and sketches that the west side elevation to which the chimney flue is proposed has the modern pertinences of black PVC soil pipes, downspouts and cabling.



The flue pipe shall measure approximately 150mm in diameter and extend approximately 1.2 metres above the roof, 100mm above the ridge line.

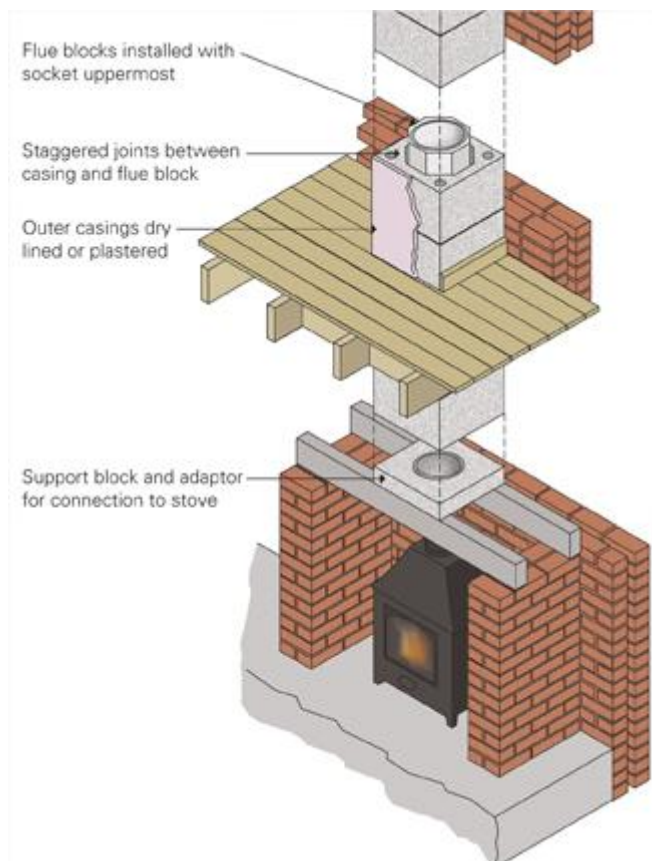
Careful consideration has been given of its aesthetics and impact upon the subject property and neighbouring buildings which we feel will not be affected by the proposal.

Steve Tomkinson of Tomkinson Heating Engineers, Buxton Road, Macclesfield, has been consulted with regard to the installation.

He informed me that the wood burning stove will be fitted into the existing fireplace, see photograph below.



The flue through the bedroom above will be built using solid pumice flue blocks.



The detail of the flue pipe above the roof line is shown below:



The roof support will be a black plate with black flexible rubber flashing seal set within the roof tiles. The visible pipe and rain cap are to be of black powder coated finish, this is commensurate to the existing external pipes on that side of the building. Thus maintaining the overall character of the building, and ensuring that the material of construction are of good quality.

I certify that the subject property has been inspected by me and that I prepared this report.

Mark J Bullock

Mark J. Bullock BSc MRICS NDA

15 April 2016

Mark Bullock & Company
The Estate Office
North Rode

01260 223773

mail@markbullock.co.uk

www.markbullock.co.uk